

KELLER RANCH MASTER PLAN

FILE 1208-02



February 2003

Prepared By:

Thomas Saxby, Architect
110 Linden Street
Oakland, California 94607
510/451-1720

Approved By:

Keller Ranch Master Plan Steering Committee
Clayton City Council

Keller Ranch Master Plan Steering Committee

Gloria Utley (Chair)
Ron Munk (Vice Chair)
Joyce Atkinson
Diana Bauer
Nancy Becker
Jeanne Boyd
Robert Hoyer
Paul Larson
Julie Pierce
Tim Tullis
Betty Weibert
Memory Woodard

City Council

Peter A. Laurence, Mayor
Julie K. Pierce, Vice Mayor
Gregory J. Manning
David T. Shuey
William R. Walcutt

City Staff

Gary A. Napper, City Manager
Jeremy Graves, AICP, Community Development Director
Milan J. Sikela, Jr., Assistant Planner
Judy Groene, Administrative Support

Consultant Team

Thomas Saxby, Architect
Holman & Associates, Archaeologist
Glenn Miller, Cost Estimator
Seismic Design Consultants, Structural Engineer
RES Engineers, Materials Testing

Keller Ranch Master Plan

In April 2002, the Clayton Redevelopment Agency established the Keller Ranch Master Plan Steering Committee to assist the City in preparing a master plan for the preservation, rehabilitation, and reuse of the Keller Ranch House and the surrounding two-acre parcel. From May 2002 until January 2003, the Steering Committee met to discuss options for rehabilitating the Keller House to best serve the residents of Clayton. In support of this effort, a consulting team was assembled to prepare this master plan. This plan includes the master plan for site, a conceptual rehabilitation plan for the Ranch House, a ranking of potential uses, and the following cost estimates (see attached budget sheets for additional budgetary information):

- ▶ Conceptual Project Budget - \$1,999,820. This would be the full rehabilitation of the House and development of the grounds for public uses including:
 - Rehabilitation of Ranch House. This includes the demolition, repair, and restoration of the Ranch House. These costs are budgeted at \$431,300.
 - Out-Buildings and Miscellaneous Structures. This includes the restoration of the existing out-buildings; upgrade of the bridge; and construction of the open air pavilion, new storage building, restrooms, water tower, windmill, play structure, and pedestrian bridge. These costs are budgeted at \$425,700.
 - Site Improvements and Amenities. This includes the site preparation, parking lot, picnic tables, fire hydrant, utility extensions, and landscaping. These costs are budgeted at \$306,665.
 - Fees, Design Costs, Overhead, and Contingency Costs. This includes architectural and engineering fees; utility (except water) hook-up fees; permit fees, overhead; and contingency costs. These costs also include \$250,000 for an archeologist to conduct a major archeological excavation and analysis program which would partially mitigate the project's archeological impacts. The scope of the archeological investigation is dependant upon nature of the archeological deposit. These costs are budgeted at \$836,155.
- ▶ Pavilion Interim Scenario - \$1,335,634. This scenario would allow use of the grounds for public and private event activities and includes the following:
 - Improvement of the grounds and construction of a stand-alone kitchen.
 - Shelter for events would be provided by a tent which could accommodate 100-150 persons.
 - No improvements to the Ranch House, except security fencing and waterproofing.

- ▶ Residential Interim Scenario - \$877,175. This scenario would involve repair of the Ranch House to allow the structure to be leased for residential purposes.
 - The storage building would be constructed for the CBCA and Library Foundation.
 - No improvements to the grounds, except as needed to serve the residence and storage building.
- ▶ Office Interim Scenario - \$980,575. This scenario would involve repair of the Ranch House to allow the structure to be leased for office purposes.
 - The storage building would be constructed for the CBCA and Library Foundation.
 - No improvements to the grounds, except as needed to serve the office and storage building.
- ▶ Preservation scenario \$65,010. This scenario would involve securing the Ranch House to prevent vandals from approaching or entering the structure.
 - Selective actions would be taken to retard ongoing deterioration of the foundation, windows, doors, skylight, and exterior.

An archaeological assessment of the property and a structural report for the house and bridge were also prepared and are available at the Clayton Community Development Department.

As part of the master plan preparation, City staff surveyed similar historic homes in the area to determine compatible uses, the costs to maintain and manage the facilities, and the income derived from use of these properties. After thorough consideration of the information provided, the Steering Committee agreed that the Keller Ranch House was an historic resource worthy of preservation and that it could be used for a variety of uses including an interpretative center and museum, as well as a location to host various public and private events or meetings, and that the grounds should be developed to support these events.

Background on Ranch House

The Keller Ranch House was built in 1912 by Charles Henry (Harry) Keller and his wife Elodia (Liberty) Keller. Harry was a member of one of the oldest pioneer families in this part of California. His grandfather, John Keller, crossed the plains with ox teams in 1849. Harry Keller became the owner of three large cattle ranches and is identified as one of the outstanding figures among cattlemen of the West, buying and selling cattle in Oregon, Nevada, Idaho, Wyoming and Utah. Prior to the Keller's occupation of the property, the land was owned by Joel Clayton, founder of Clayton. The property is also thought to have been part of the principal village site of the Chupcan or Volvon people who occupied the area around Mt. Diablo three to four thousand years ago. In November 2001, the property was elected to the California Register of Historical Resources for its association with cattle ranching, an industry important in local and regional history. The Keller House was determined to be significant as a rare example,

in the Clayton area, of Mission-Style architecture with Craftsman elements. The remaining outbuildings from the ranching period also contribute to the historic site. The Keller Bridge was determined to be significant as a rare example of a privately-funded concrete bridge which incorporated engineering and aesthetic considerations in design not common to private, utilitarian bridges in California. The overall site was determined to be significant as an archaeological site with the potential to yield information important to understanding the prehistory of this region.

The Ranch House remains virtually unaltered from its original 1912 construction and retains much of its historic fabric from the period of significance when the Keller Ranch was at the height of its operations. Rehabilitation of this historic resource will preserve an important element of Clayton's history and promote an understanding of the local cattle ranching period.

Features of Site and Ranch House

The Keller Ranch site is located on the north side of Town Center, in close proximity to the Community Library. The property borders on the north side of Mt. Diablo Creek at its convergence with Mitchell Creek, and consists of several structures historically associated with the 1,300-acre working cattle ranch established by Charles Henry Keller. The Ranch House site occupies approximately two acres and includes an arched concrete bridge and several smaller outbuildings from the historic ranching period. The House's style is eclectic, featuring both the Mission style that is commonly associated with California from 1890 to 1920, and the Craftsman style common during the period from 1905 to 1930. Identifying features associated with the Mission style include the red tile roof covering, the wide overhanging open eaves, a porch roof supported by large square piers with segmented-arch openings, and the stuccoed exterior wall surfaces. The Craftsman features include the battered stone foundation walls (veneer), groups of three or more multi-paned double-hung window sash, and a pergola extending from the entry porch. The uncoursed stone masonry is used prominently to display the natural, multicolored fieldstones and incorporates prehistoric artifacts on the south and west facades, particularly around the building entry. It is thought that the custom features of the design could be associated with a well-known architect of the time, such as Schweinfurth or Polk, but it is not known for certain.

The interior of the Keller Ranch House is organized in a simple and functional plan that features the use of natural materials associated with the Craftsman style. This style promoted a reformist message of simplicity, utility, and hand-crafted construction in tune with nature, as well as a return to a humbler, more practical life style. The large Entry of the Keller House originally had a large skylight over the middle of the room with a fountain below. The purpose of this room seems to have been a kind of interior atrium said to have once been filled with plants and a large bird cage, with the sound of running water throughout. Remnants of the skylight curb remain in the attic which provide information about the original size and configuration of this feature. All that remains of the fountain is a concrete base blended smooth with the adjacent floor. The Living Room and Dining Room areas exhibit strong Craftsman features with the stone fireplace, wood paneling, coffered wood beam ceiling, and copper light fixtures. The Dining Room is visually associated with the garden where Elodia Keller planted flowers and enjoyed her garden pond. The large Kitchen with its attached Screen Porch was

most likely the center of the daily activities and chores around the house with meals for the regular ranch hands served on the porch. Three Bedrooms are located along the east side of the House with the front (southern) bedroom the most architecturally detailed of the three. At the top of the front hall stairs is the Tower Room. This room features windows on all four sides that capture a panoramic view of Mt. Diablo and the surrounding area. It is thought that this room may have been used by Elodia Keller as an art studio.

Rehabilitation

The Keller House has been vacant since the mid-1980's and has been subject to vandalism. Currently the building is boarded up to prevent further vandalism, and is being used for storage. Structurally, the House is in poor condition with weak concrete footings and significant settlement problems. Although one and two-story wood-framed structures are considered to be relatively safe in earthquakes, the House does not have adequate lateral load-resisting capacity to avoid severe damage during a major earthquake. In order for the building to be safely used, major structural improvements are required including replacement of the foundation. Rehabilitation of the Keller House would include the repair and refurbishing of all exterior and interior surfaces, windows, and doors. Since the amount of historic fabric remaining is very high, an effort should be made to salvage the existing materials for reuse. Missing elements such as the skylight over the Entry would be reconstructed to restore the character of the room to its earlier appearance. In addition, improvements to address various building code issues would be undertaken to bring the building into compliance with the State Historic Building Code.

If the Ranch House is used as an interpretive center and a museum, or as a place to host various public and private functions, the Entry area could serve as one of two exhibit areas with natural light illuminating a central display case while pictures and other information could be setup along the walls. The Living Room and Dining Room area could be furnished with Craftsman Style furnishings suitable for group meetings, receptions or casual lounging. A modification to the back bedrooms (northeast corner) is recommended to create another exhibit room or large meeting room and a new exit to satisfy safety concerns. The Front Bedroom could be used as an office or special use area. A handicap ramp enabling access to the Front Porch from the east side would resemble the battered stone foundation walls of the original house. In order that the facility adequately support the hosting various public and private functions, the Kitchen could be remodeled to include modern cooking and cleaning equipment integrated into the historic setting. The Screen Porch would serve as the primary cooking area in order to meet building code requirements. The main Kitchen could be used for preparations and cleaning. The Tower Room, due to its restricted accessibility, has limited options for reuse.

It is easy to imagine the rehabilitated Keller Ranch House becoming a facility to preserve important information about the prehistory of the region as well as the important cattle ranching period in Clayton. Its charming character and bucolic setting also make it an attractive location to host community events, and establish the Keller Ranch House as an important local historical landmark.

Ranking of Uses for Keller Ranch House and Grounds

The Keller Ranch Steering Committee examined a variety of potential income and non-income producing uses for the Ranch House and Grounds. The Committee scored these uses on a five point scale. The results are listed below.

Income-Producing Uses	
Use	Score
Special Events (e.g., weddings, receptions, parties)	37
Museum/Interpretive Center	33
Gallery/Artist Venue/Art Shows	18
Meeting Room	14
Commercial Uses (e.g., rental as commercial office)	10
Book Club/Book Sales/Other Organizational Uses	8
Senior Center	5

Non-Income-Producing Uses	
Use	Score
Farm Displays in Outbuildings	32
Special Events (e.g., heritage days, holiday celebrations)	24
Garden Club Events and Activities	21
Storage for Library Foundation, CBCA, etc. in Outbuildings	15
Archive Room for Historical Society	14
Community Gardens/Vegetable Gardens	10
Bicycle/Walking Tours	9
Walking Tour Destination	7
Outdoor Concerts	5
Picnics/Barbecues	4
Senior Center	4
Storage for Library Foundation, etc. in Keller House	1

CITY OF CLAYTON
KELLER HOUSE REHABILITATION PROJECT
Conceptual Project Budget

October 7, 2002

Costs by Project Element:

	QUANT	UNIT	COST/UNIT	TOTAL
Rehabilitated Historic Ranch House				
Selective Demolition & Shoring	1	Allowance	\$50,000	\$50,000
Foundation and Seismic Strengthening	1	Allowance	\$75,000	\$75,000
Interior Finishes - Standard	1,800	SF -Allow.	\$55	\$99,000
Interior Finishes - Intense (w/equip)	300	SF -Allow.	\$85	\$25,500
Restoration of specialty items	20	Allow. / Ea.	\$1,250	\$25,000
Weather tight & Waterproofing	1	Allowance	\$7,500	\$7,500
Roofing & Skylight	1	Allowance	\$46,500	\$46,500
Exterior Finishes	1	Allowance	\$45,000	\$45,000
Chimney Repair	1	Allowance	\$5,000	\$5,000
Interior Utility Service Distribution Upgrade	1	Allowance	\$37,800	\$37,800
Handl Cap Ramp w/ handrail	1	Allowance	\$15,000	\$15,000
Subtotal Ranch House Rehabilitation:				\$431,300

	QUANT	UNIT	COST/UNIT	TOTAL
Outbuilding & Miscellaneous Structures				
Rehabilitated Historic Out-Buildings	3	Allow. / Ea.	\$21,000	\$63,000
Bridge Upgrades (Minor Structural, Safety & Cosmetic Upgrades)	1	Allowance	\$45,000	\$45,000
Historic Pond Rehabilitation	1	Allowance	\$5,000	\$5,000
Open - Air Pavillion	1,400	SF -Allow.	\$75	\$105,000
New Storage Building	560	SF -Allow.	\$85	\$47,600
Reconstructed Water Tower & Windmill	2	Allow. / Ea.	\$15,000	\$30,000
Accessible Toilet Building	1	Allowance	\$60,000	\$60,000
Play Structure Area (w/Equipment)	1	Allowance	\$30,000	\$30,000
Pedestrian Bridge	1	Allowance	\$40,100	\$40,100
Subtotal Outbuilding & Miscellaneous Structures:				\$425,700

	QUANT	UNIT	COST/UNIT	TOTAL
Site Improvement & Amenities Costs:				
Site Preparation & Grading	68,750	SF -Allow.	\$0.15	\$10,315
Site Import	1	Allowance	\$15,000	\$15,000
Site Drainage	0	Allowance	NA	\$0
Asphaltic Concrete Paving	11,950	SF -Allow.	\$3.50	\$41,825
DG - Paving (3" w/3" Base)	11,100	SF -Allow.	\$4.25	\$47,175
Site Fencing / Gates	2.5	Allow. / Ea.	\$3,500	\$8,750
Picnic Tables & Benches	9	Allow. / Ea.	\$900	\$8,100
Fire Service Upgrade including hydrant	1	Allowance	\$18,000	\$18,000
Electrical Utilities (services) and Lighting	1	Allowance	\$75,000	\$75,000
Landscape Irrigation	15,000	SF -Allow.	\$2.50	\$37,500
Landscape Planting	15,000	SF -Allow.	\$3.00	\$45,000
Subtotal Site Improvement & Amenities:				\$306,665

Overhead, Mark-up & Construction Contingency Costs:				
G.C. Mark-up for general conditions, profit and overhead (12%)	1	Allowance	12.00%	\$139,640
Construction Contingency (12.5%)	1	Allowance	12.50%	\$145,455
Subtotal Overhead, Mark-up & Construction Contingency Costs:				\$285,095

Subtotal Construction Costs Budget:

\$1,448,760

	QUANT	UNIT		COST
Fees, Consultant & Design Contingency Costs				
Arch/Engineering	1	Allowance		\$173,855
Geotechnical & Hazardous Materials Investigation	1	Allowance		\$7,500
Utility Hook-up Fees (excludes Water Meter)	1	Allowance		\$40,000
Materials Testing and Special Inspection	1	Allowance		\$10,000
Archeological Consultant	1	Allowance		\$250,000
Permits & Inspections	1	Allowance		\$43,465
Design Contingency (5%)	1	Allowance	5.00%	\$26,240
Subtotal Fees, Consultant & Design Contingency Costs:				\$551,060

Prepared By Glenn D. Miller

for **Conceptual Project Budget:**
 Thomas Saxby, Architect

\$1,999,820

CITY OF CLAYTON - KELLER HOUSE REHABILITATION PROJECT

Pavilion Scenario - Conceptual Project Budget

January 2, 2003

Costs by Project Element:

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL	PHASE II TOTAL	PHASE II TOTAL
Rehabilitated Historic Ranch House						
Selective Demolition & Shoring	NA	Allowance	\$50,000	-	-	-
Foundation and Seismic Strengthening	NA	Allowance	\$75,000	-	-	-
Interior Finishes - Standard	NA	SF -Allow.	\$55	-	-	-
Interior Finishes - Intense (w/equip)	NA	SF -Allow.	\$85	-	-	-
Restoration of specialty items	NA	Allow. / Ea.	\$1,250	-	-	-
Weather tight (Security Fencing) & Waterproofing	1	Allowance	\$10,000	\$10,000	-	-
Roofing Repairs	1	Allowance	\$20,000	\$20,000	-	-
Exterior Finishes	NA	Allowance	\$45,000	-	-	-
Chimney Repair	NA	Allowance	\$5,000	-	-	-
Interior Utility Service Distribution Upgrade	NA	Allowance	\$37,800	-	-	-
Handl Cap Ramp w/ handrail	NA	Allowance	\$15,000	-	-	-
Subtotal Ranch House Rehabilitation:				\$30,000	\$0	\$0

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL	PHASE II TOTAL	PHASE III TOTAL
Outbuilding & Miscellaneous Structures						
Rehabilitated Historic Out-Buildings	3	Allow. / Ea.	\$21,000	\$63,000	-	-
Bridge Upgrades (Minor Structural, Safety & Cosmetic Upgrades)	1	Allowance	\$45,000	\$45,000	-	-
Open - Air Pavilion	1,400	SF -Allow.	\$75	\$105,000	-	-
New Storage Building	560	SF -Allow.	\$85	\$47,600	-	-
Reconstructed Water Tower & Windmill	2	Allow. / Ea.	\$15,000	\$30,000	-	-
Accessible Toilet Building	1	Allowance	\$60,000	\$60,000	-	-
Fully Enclosed Kitchen Structure	400	SF -Allow.	\$150	\$60,000	-	-
Kitchen Equipment	1	Allowance	\$35,000	\$35,000	-	-
Subtotal Outbuilding & Miscellaneous Structures:				\$445,600	\$0	\$0

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL	PHASE II TOTAL	PHASE III TOTAL
Site Improvement & Amenities Costs:						
Site Preparation & Grading	68,750	SF -Allow.	\$0.15	\$10,315	-	-
Site Import	1	Allowance	\$15,000	\$15,000	-	-
Site Drainage	0	Allowance	NA	\$0	-	-
Asphaltic Concrete Paving	11,950	SF -Allow.	\$3.50	\$41,825	-	-
DG -Paving (3" w/3" Base)	11,100	SF -Allow.	\$4.25	\$47,175	-	-
Site Fencing / Gates	2.5	Allow. / Ea.	\$3,500	\$8,750	-	-
Picnic Tables & Benches	9	Allow. / Ea.	\$900	\$8,100	-	-
Fire Service Upgrade including hydrant	1	Allowance	\$18,000	\$18,000	-	-
Electrical Utilities (services) and Lighting	1	Allowance	\$75,000	\$75,000	-	-
Historic Pond Rehabilitation	1	Allowance	\$5,000	-	-	\$5,000
Play Structure Area (w/ Equipment)	1	Allowance	\$30,000	-	-	\$30,000
Pedestrian Bridge	1	Allowance	\$40,100	-	-	\$40,100
Purchase Tent for Events	1	Allowance	\$20,000	\$20,000	-	-
Landscaping Irrigation	15,000	SF -Allow.	\$2.50	-	\$37,500	-
Landscape Planting	15,000	SF -Allow.	\$3.00	-	\$45,000	-
Subtotal Site Improvement & Amenities:				\$244,165	\$82,500	\$75,100

Overhead, Mark-up & Construction Contingency Costs:						
G.C. Mark-up for general conditions, profit and overhead (12%)	1	Allowance	12.00%	\$86,375	\$9,900	\$9,010
Construction Contingency (12.5%)	1	Allowance	12.50%	\$89,970	\$10,310	\$9,385
Subtotal Overhead, Mark-up & Construction Contingency Costs:				\$176,345	\$20,210	\$18,395

Subtotal Construction Costs Budget: \$896,110 \$102,710 \$93,495

	QUANT	UNIT		PHASE I TOTAL	PHASE II TOTAL	PHASE III TOTAL
Fees, Consultant & Design Contingency Costs						
Arch/Engineering	1	Allowance		\$107,535	\$12,325	\$11,220
Geotechnical & Hazardous Materials Investigation	1	Allowance		\$2,000	\$500	\$1,500
Utility Hook-up Fees (excludes Water Meter)	1	Allowance		\$40,000	-	-
Materials Testing and Special Inspection	1	Allowance		\$3,000	\$500	\$1,500
Archeological Consultant	1	Allowance		\$125,000	-	-
Permits & Inspections	1	Allowance		\$26,885	\$3,080	\$2,805
Design Contingency (5%)	1	Allowance	5.00%	\$15,220	\$770	\$700
Subtotal Fees, Consultant & Design Contingency Costs:				\$319,640	\$17,175	\$17,725

CITY OF CLAYTON KELLER HOUSE REHABILITATION PROJECT

Residential Scenario - Conceptual Project Budget

January 2, 2003

Costs by Project Element:

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Rehabilitated Historic Ranch House				
Selective Demolition & Shoring	1	Allowance	\$50,000	\$50,000
Foundation and Selsmic Strengthening	1	Allowance	\$75,000	\$75,000
Interior Finishes - Standard	1,800	SF -Allow.	\$45	\$81,000
Interior Finishes - Intense (w/ residential equip.)	300	SF -Allow.	\$45	\$13,500
Restoration of speciality Items	20	Allow. / Ea.	\$1,250	\$25,000
Weather tight (Security) & Waterproofing	1	Allowance	\$7,500	\$7,500
Roofing Repairs - (Covers Skylight)	1	Allowance	\$46,500	\$46,500
Exterior Finishes	1	Allowance	\$45,000	\$45,000
Chimney Repair	1	Allowance	\$5,000	\$5,000
Interior Utility Service Distribution Upgrade (minor wiring & 100 Amp Service)	1	Allowance	\$10,000	\$10,000
Handi Cap Ramp w/ handrail	NA	Allowance	\$15,000	\$0
Subtotal Ranch House Rehabilitation:				\$358,500

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Outbuilding & Miscellaneous Structures				
Rehabilitated Historic Out-Buildings	NA	Allow. / Ea.	\$21,000	-
Bridge Upgrades (Minor Structural, Safety & Cosmetic Upgrades)	NA	Allowance	\$45,000	-
Historic Pond Rehabilitation	NA	Allowance	\$5,000	-
Open - Air Pavilion	NA	SF -Allow.	\$75	-
New Storage Building	560	SF -Allow.	\$85	\$47,600
Reconstructed Water Tower & Windmill	NA	Allow. / Ea.	\$15,000	-
Accessible Toilet Building	NA	Allowance	\$60,000	-
Play Structure Area (w/Equipment)	NA	Allowance	\$30,000	-
Pedestrian Bridge	NA	Allowance	\$40,100	-
Fully Enclosed Kitchen Structure	NA	SF -Allow.	\$85	-
Kitchen Equipment	NA	Allowance	\$50,000	-
Purchase Tent for Events	NA	Allowance	\$20,000	-
Subtotal Outbuilding & Miscellaneous Structures:				\$47,600

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Site Improvement & Amenities Costs:				
Site Preparation & Grading	34,375	SF -Allow.	\$0.15	\$5,155
Site Import (@ 50%)	1	Allowance	\$7,500	\$7,500
Site Drainage	0	Allowance	NA	\$0
Asphaltic Concrete Paving	3,944	SF -Allow.	\$3.50	\$13,800
DG -Paving (3" w/3" Base)	NA	SF -Allow.	\$4.25	-
Site Fencing / Gates	2.5	Allow. / Ea.	\$3,500	\$8,750
Picnic Tables & Benches	NA	Allow. / Ea.	\$900	-
Fire Service Upgrade including hydrant	1	Allowance	\$18,000	\$18,000
Electrical Utilities (services) and Lighting (Service Extension Allowance)	1	Allowance	\$17,500	\$17,500
Landscaping Irrigation	NA	SF -Allow.	\$2.50	-
Landscape Planting	NA	SF -Allow.	\$3.00	-
Subtotal Site Improvement & Amenities:				\$70,705

Overhead, Mark-up & Construction Contingency Costs:				
G.C. Mark-up for general conditions, profit and overhead (12%)	1	Allowance	12.00%	\$57,220
Construction Contingency (12.5%)	1	Allowance	12.50%	\$59,600
Subtotal Overhead, Mark-up & Construction Contingency Costs:				\$116,820

Subtotal Construction Costs Budget: \$593,625

	QUANT	UNIT		PHASE I TOTAL
Fees, Consultant & Design Contingency Costs				
Arch/Engineering	1	Allowance		\$71,235
Geotechnical & Hazardous Materials Investigation	1	Allowance		\$6,000
Utility Hook-up Fees (excludes Water Meter)	1	Allowance		\$40,000
Materials Testing and Special Inspection	1	Allowance		\$10,000
Archeological Consultant	1	Allowance		\$125,000
Permits & Inspections	1	Allowance		\$17,810
Design Contingency (5%)	1	Allowance	5.00%	\$13,505
Subtotal Fees, Consultant & Design Contingency Costs:				\$283,550

CITY OF CLAYTON KELLER HOUSE REHABILITATION PROJECT

Office Scenario - Conceptual Project Budget

January 2, 2003

Costs by Project Element:

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Rehabilitated Historic Ranch House				
Selective Demolition & Shoring	1	Allowance	\$50,000	\$50,000
Foundation and Seismic Strengthening	1	Allowance	\$75,000	\$75,000
Interior Finishes - Standard	1,800	SF -Allow.	\$45	\$81,000
Interior Finishes - Intense (w/toilet upgrade to handicap)	300	SF -Allow.	\$75	\$22,500
Restoration of specialty items	20	Allow. / Ea.	\$1,250	\$25,000
Weather Tight (Security) & Waterproofing	1	Allowance	\$7,500	\$7,500
Roofing Repairs - (Covers Skylight)	1	Allowance	\$46,500	\$46,500
Exterior Finishes	1	Allowance	\$45,000	\$45,000
Chimney Repair	1	Allowance	\$5,000	\$5,000
Interior Utility Service Distribution Upgrade (minor wiring & 100 Amp Service)	1	Allowance	\$10,000	\$10,000
Handi Cap Ramp w/ handrail	1	Allowance	\$15,000	\$15,000
Subtotal Ranch House Rehabilitation:				\$382,500

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Outbuilding & Miscellaneous Structures				
Rehabilitated Historic Out-Buildings	NA	Allow. / Ea.	\$21,000	-
Bridge Upgrades (Minor Structural, Safety & Cosmetic Upgrades)	1	Allowance	\$45,000	\$45,000
Historic Pond Rehabilitation	NA	Allowance	\$5,000	-
Open - Air Pavilion	NA	SF -Allow.	\$75	-
New Storage Building	500	SF -Allow.	\$85	\$47,600
Reconstructed Water Tower & Windmill	NA	Allow. / Ea.	\$15,000	-
Accessible Toilet Building	NA	Allowance	\$60,000	-
Play Structure Area (w/Equipment)	NA	Allowance	\$30,000	-
Pedestrian Bridge	NA	Allowance	\$40,100	-
Fully Enclosed Kitchen Structure	NA	SF -Allow.	\$85	-
Kitchen Equipment	NA	Allowance	\$50,000	-
Purchase Tent for Events	NA	Allowance	\$20,000	-
Subtotal Outbuilding & Miscellaneous Structures:				\$92,600

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Site Improvement & Amenities Costs:				
Site Preparation & Grading	34,375	SF -Allow.	\$0.15	\$5,155
Site Import (@ 50%)	1	Allowance	\$7,500	\$7,500
Site Drainage	0	Allowance	NA	\$0
Asphaltic Concrete Paving	3,944	SF -Allow.	\$3.50	\$13,800
DG -Paving (3" w/3" Base)	NA	SF -Allow.	\$4.25	-
Site Fencing / Gates	2.5	Allow. / Ea.	\$3,500	\$8,750
Picnic Tables & Benches	NA	Allow. / Ea.	\$900	-
Fire Service Upgrade including hydrant	1	Allowance	\$18,000	\$18,000
Electrical Utilities (services) and Lighting (Service Extension Allowance)	1	Allowance	\$17,500	\$17,500
Landscaping Irrigation	500	SF -Allow.	\$2.50	\$1,250
Landscape Planting	500	SF -Allow.	\$3.00	\$1,500
Subtotal Site Improvement & Amenities:				\$73,455

Overhead, Mark-up & Construction Contingency Costs:				
G.C. Mark-up for general conditions, profit and overhead (12%)	1	Allowance	12.00%	\$65,830
Construction Contingency (12.5%)	1	Allowance	12.50%	\$68,570
Subtotal Overhead, Mark-up & Construction Contingency Costs:				\$134,400

Subtotal Construction Costs Budget: \$682,955

	QUANT	UNIT		PHASE I TOTAL
Fees, Consultant & Design Contingency Costs				
Arch/Engineering	1	Allowance		\$81,955
Geotechnical & Hazardous Materials Investigation	1	Allowance		\$6,000
Utility Hook-up Fees (excludes Water Meter)	1	Allowance		\$40,000
Materials Testing and Special Inspection	1	Allowance		\$10,000
Archeological Consultant	1	Allowance		\$125,000
Permits & Inspections	1	Allowance		\$20,490
Design Contingency (5%)	1	Allowance	5.00%	\$14,175
Subtotal Fees, Consultant & Design Contingency Costs:				\$297,620

CITY OF CLAYTON KELLER HOUSE REHABILITATION PROJECT

Conceptual Project Budget - Preservation Scenario

February 13, 2003

Costs by Project Element:

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Rehabilitated Historic Ranch House				
Selective Shoring	1	Allowance	\$5,000	\$5,000
Foundation and Seismic Strengthening	NA	Allowance	\$75,000	-
Interior Finishes - Standard	NA	SF -Allow.	\$55	-
Interior Finishes - Intense (w/equip)	NA	SF -Allow.	\$85	-
Restoration of specialty items	NA	Allow. / Ea.	\$1,250	-
Weather tight, Rodent Control, & Waterproofing	1	Allowance	\$10,000	\$10,000
Roofing Repairs	1	Allowance	\$20,000	\$20,000
Exterior Finishes (Painting & Sealing only)	1	Allowance	\$7,500	\$7,500
Chimney Repair	NA	Allowance	\$5,000	-
Interior Utility Service Distribution Upgrade	NA	Allowance	\$37,800	-
Handi Cap Ramp w/ handrail	NA	Allowance	\$15,000	-
Subtotal Ranch House Rehabilitation:				\$42,500

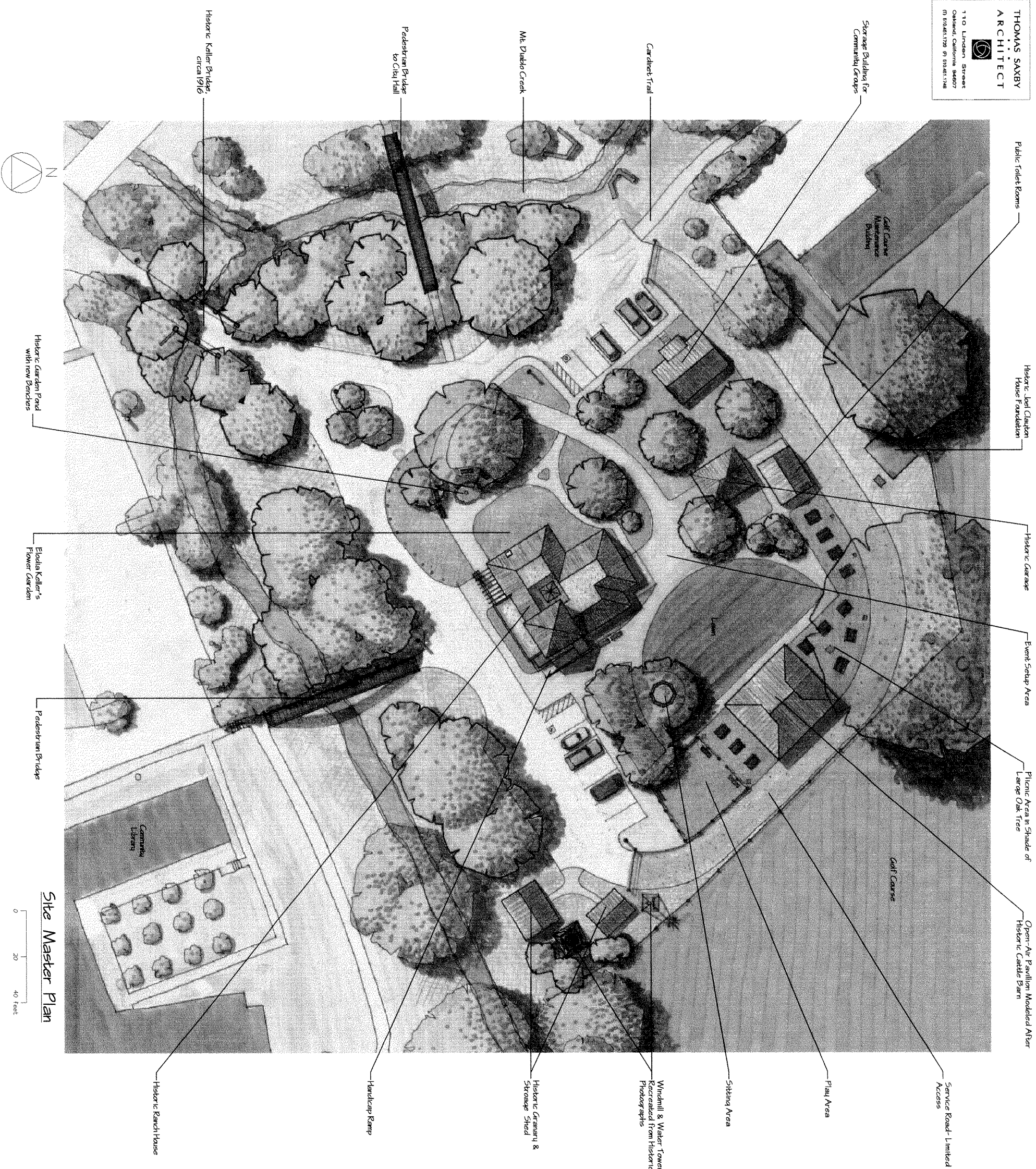
	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Outbuilding & Miscellaneous Structures				
Rehabilitated Historic Out-Buildings	NA	Allow. / Ea.	\$21,000	-
Bridge Upgrades (Minor Structural, Safety & Cosmetic Upgrades)	NA	Allowance	\$45,000	-
Historic Pond Rehabilitation	NA	Allowance	\$5,000	-
Open - Air Pavilion	NA	SF -Allow.	\$75	-
New Storage Building	NA	SF -Allow.	\$85	-
Reconstructed Water Tower & Windmill	NA	Allow. / Ea.	\$15,000	-
Accessible Toilet Building	NA	Allowance	\$60,000	-
Play Structure Area (w/Equipment)	NA	Allowance	\$30,000	-
Pedestrian Bridge	NA	Allowance	\$40,100	-
Fully Enclosed Kitchen Structure	NA	SF -Allow.	\$85	-
Kitchen Equipment	NA	Allowance	\$50,000	-
Purchase Tent for Events	NA	Allowance	\$20,000	-
Subtotal Outbuilding & Miscellaneous Structures:				\$0

	QUANT	UNIT	COST/UNIT	PHASE I TOTAL
Site Improvement & Amenities Costs:				
Site Preparation & Grading (Includes Selective Tree & Brush Removal)	1	SF -Allow.	\$2,000.00	\$2,000
Site Import	NA	Allowance	\$15,000	-
Site Drainage	NA	Allowance	NA	-
Asphaltic Concrete Paving	NA	SF -Allow.	\$3.50	-
DG -Paving (3" w/3" Base)	NA	SF -Allow.	\$4.25	-
Site Fencing / Gates (Secure Building only)	1	Allowance	\$3,500	\$3,500
Picnic Tables & Benches	NA	Allow. / Ea.	\$900	-
Fire Service Upgrade including hydrant	NA	Allowance	\$18,000	-
Electrical Utilities (services) and Lighting (Service Extension Allowance)	NA	Allowance	\$17,500	-
Landscape Irrigation	NA	SF -Allow.	\$2.50	-
Landscape Planting	NA	SF -Allow.	\$3.00	-
Subtotal Site Improvement & Amenities:				\$5,500

Overhead, Mark-up & Construction Contingency Costs:				
G.C. Mark-up for general conditions, profit and overhead (12%)	1	Allowance	12.00%	\$5,760
Construction Contingency (5%)	1	Allowance	5.00%	\$2,400
Subtotal Overhead, Mark-up & Construction Contingency Costs:				\$8,160

Subtotal Construction Costs Budget: \$56,160

	QUANT	UNIT		PHASE I TOTAL
Fees, Consultant & Design Contingency Costs				
Arch/Engineering	1	Allowance		\$6,742
Geotechnical & Hazardous Materials Investigation	NA	Allowance		\$0
Utility Hook-up Fees (excludes Water Meter)	NA	Allowance		\$0
Materials Testing and Special Inspection	NA	Allowance		\$0
Archeological Consultant	NA	Allowance		\$0
Permits & Inspections	1	Allowance		\$1,684
Design Contingency (5%)	1	Allowance	5.00%	\$423
Subtotal Fees, Consultant & Design Contingency Costs:				\$8,850



Keller Ranch Master Plan

In February 2002, the Claiton Redevelopment Agency Board of Directors authorized the creation of a citizens' steering committee to assist the Redevelopment Agency and the City of Claiton in preparing a master plan for the rehabilitation and adaptive reuse of the Keller Ranch house and the surrounding 2-acre parcel. From May 2002 until January 2003, the Keller Ranch Master Plan Steering Committee met to discuss options for rehabilitating the Keller House to best serve the residents of Claiton. In support of this effort, a professional consulting team was assembled to prepare the following: a conceptual rehabilitation plan and structural report for the house and bridge; a master plan for the site (left); an archaeological assessment of the property; and conceptual cost estimates for various proposed development scenarios. City staff also surveyed similar historic homes in the area to determine compatible uses, the costs to maintain and manage the facilities, and the income derived from use of similar properties. After thorough consideration of the information provided, the Steering Committee agreed that the Keller Ranch House was an historic resource worthy of preserving and that it could be used as an interpretive center and museum, as well as a location to host various public and private events or meetings, and that the grounds should be developed to support those events. The projected cost was determined to be approximately 2 million dollars, so the Steering Committee proposed that the City Council fund in part repairs and security improvements to the Keller House, and defray the full project improvements with the additional funds could be raised.

Background

The Keller Ranch House was built in 1912 by Charles Henry "Harry" Keller and his wife Eloalia (Liberty) Keller. Harry was a member of one of the oldest pioneer families in local and regional history. His grandfather, John Keller, crossed the plains with ox-teams in 1849. Harry Keller became the owner of three large cattle ranches and is identified as one of the outstanding figures among cattlemen of the West, buying and selling cattle in Oregon, Nevada, Idaho, Wyoming and Utah. Prior to the Keller's occupation of the property, the land was owned by Joel Claiton, founder of Claiton. The property is also thought to have been part of the principal village site of the Cheyenne or Volcan people who occupied the area around Mt. Diablo dating back three to four thousand years.

In November 2001, the property was deeded to the California Registrar of Historical Resources for its association with cattle ranching, an industry important in local and regional history. The Keller House was determined to be significant as a rare example, in the Claiton area, of a Mission-Style architecture with Craftsman elements. The remaining outbuildings from the ranching period also contribute to the historic site. The Keller Bridge was determined to be significant as a rare example of a privately-funded concrete bridge which incorporated engineering and aesthetic considerations in design not common to private, utilitarian bridges in California. The overall site was determined to be significant as an archaeological site with the potential to yield information important to understanding the prehistory of this region.

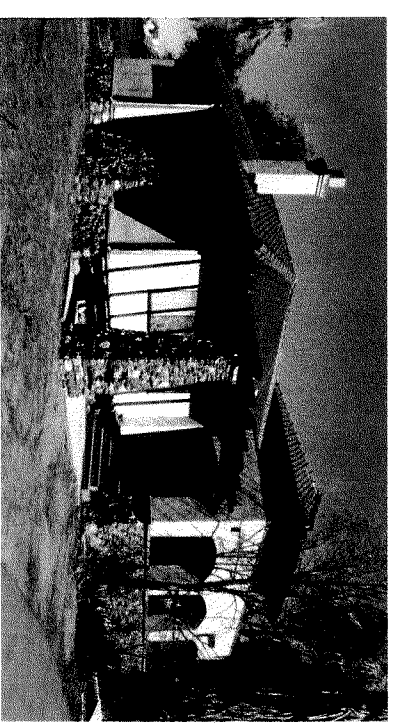
The house remains virtually unaltered from its original 1912 construction and retains much of the historic fabric from the period of significant change when the Keller Ranch was at the height of the operations. Rehabilitation of this historic resource will preserve an important element of Claiton's history and promote an understanding of the local cattle ranching period.

Steering Committee:

- Lucy Atkinson, Diana Bauer, Nancy Becker, Jeanne Boyd, Robert Hays, Paul Larson, Ron Mark (Vice Chair), Julie Pierce, Tim Tullis, Betty Weber, Memory Woodard and Diana Ulien (Chair).
- Joel Claiton Staff:
- Jeremy Graves (Community Development Director) and Milan Skelton (Assistant Planner)
- Thomas Saxby (Architect), Hodman & Associates (Archaeologist), Glenn Miller (Cost Estimator), PE5 Engineers (Materials Testing) and Seismic Design Consultants (Structural Engineer)



Front (South) Facade, Circa 1912
Image from postcard



West and South Facades, Circa 2001
Many original features and materials remain intact

Keller Ranch House

The Keller Ranch site is located on the north side of Clanton's Town Center, in close proximity to the Community Library. The property lies at the north side of Mt. Diablo Creek at its convergence with Mitchell Creek, and consists of several structures historically associated with the 1500 acre working cattle ranch established by Charles Henry Keller. The House's style is eclectic, featuring both the Mission style that is commonly associated with California from 1890 to 1920, and the Craftsman style common during the period from 1905 to 1930. Identifying features associated with the Mission style include the red tile roof covering, the wide overhanging open eaves, a porch roof supported by large square piers with segmented-arch openings, and the stuccoed exterior wall surfaces. The Craftsman features include the battered stone foundation walls (veneer), groups of three or more multi-paned double-hung window sashes, and a wood trellis extending from the entry porch. The uncoursed stone masonry is used prominently to display the natural, multicolored fieldstones and incorporates prehistoric artifacts on the south and west facades, particularly around the building entry. It is thought that the custom features of the design could be associated with an well-known architect of the time, such as Schweinfurth or Polk, but it is not known for certain.

The interior of the Keller Ranch House is organized in a simple and functional plan that features the use of natural materials associated with the Craftsman style. This style promoted a reformist message of simplicity, utility, and hand-crafted construction in tune with nature, as well as a return to a humbler, more practical life style. The large Entry of the Keller House originally had a large skylight over the middle of the room with a fountain below. The purpose of this room seems to have been a kind of interior atrium said to have once been filled with racks of plants and two large wicker bird cages. Remnants of the skylight curb remain in the attic which provides information about the original size and configuration of this feature. All that remains of the fountain is a concrete base blended smooth with the adjacent floor. The Living Room and Dining Room areas exhibit strong Craftsman features with the stone fireplace, wood paneling, coffered wood beam ceiling and copper light fixtures. The Dining Area is visually associated with the garden where Elodial Keller planted flowers and enjoyed her garden pond. The large Kitchen with its attached Screen Porch were most likely the center of the daily activities and chores around the house with meals for the regular ranch hands served on the porch. The Bedrooms are located along the east side of the House with the Front (southern) bedroom the most architecturally detailed of the three. At the top of the front hall stairs is the Tower Room. This room features windows on all four sides that capture a panoramic view of Mt. Diablo and the surrounding area. It is thought that this room may have been used by Elodial Keller as an art studio.

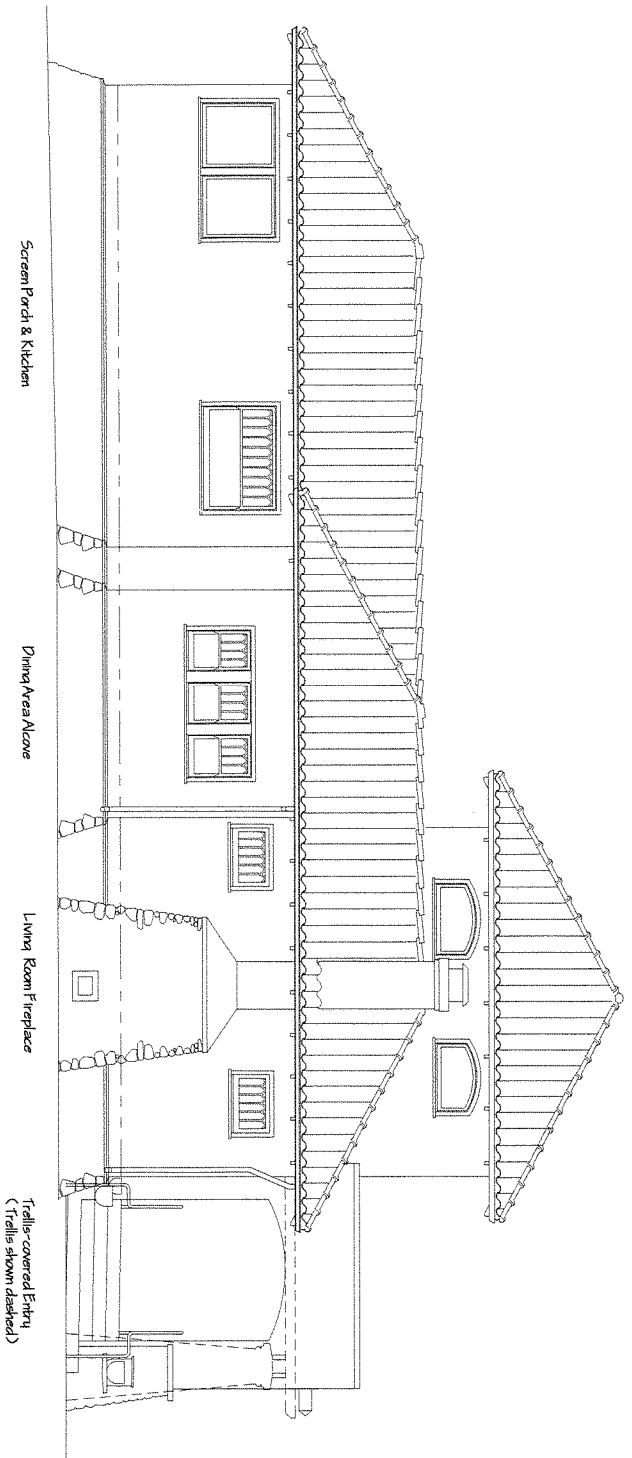
Rehabilitation

The Keller House has been vacant since the mid-1980's and has been vandalized and damaged as a result of its neglect. Structurally the building is in poor condition with weak concrete footings and significant settlement problems. Although one and two-story wood-framed structures are considered to be relatively safe in earthquakes, the house does not have adequate lateral load-resisting capacity to avoid severe damage during a major earthquake. In order for the City to safely occupy the building, major structural improvements are required including replacement of the foundation. Rehabilitation of the Keller House would include the repair and refurbishing of all exterior and interior surfaces, windows and doors. Since the amount of historic fabric remaining is very high, an effort should be made to salvage the existing materials for reuse. Missing elements such as the skylight over the Entry would be reconstructed to restore the character of the room to its earlier appearance. In addition, improvements to address various building code issues would be undertaken to bring the building into compliance with the State Historic Building Code.

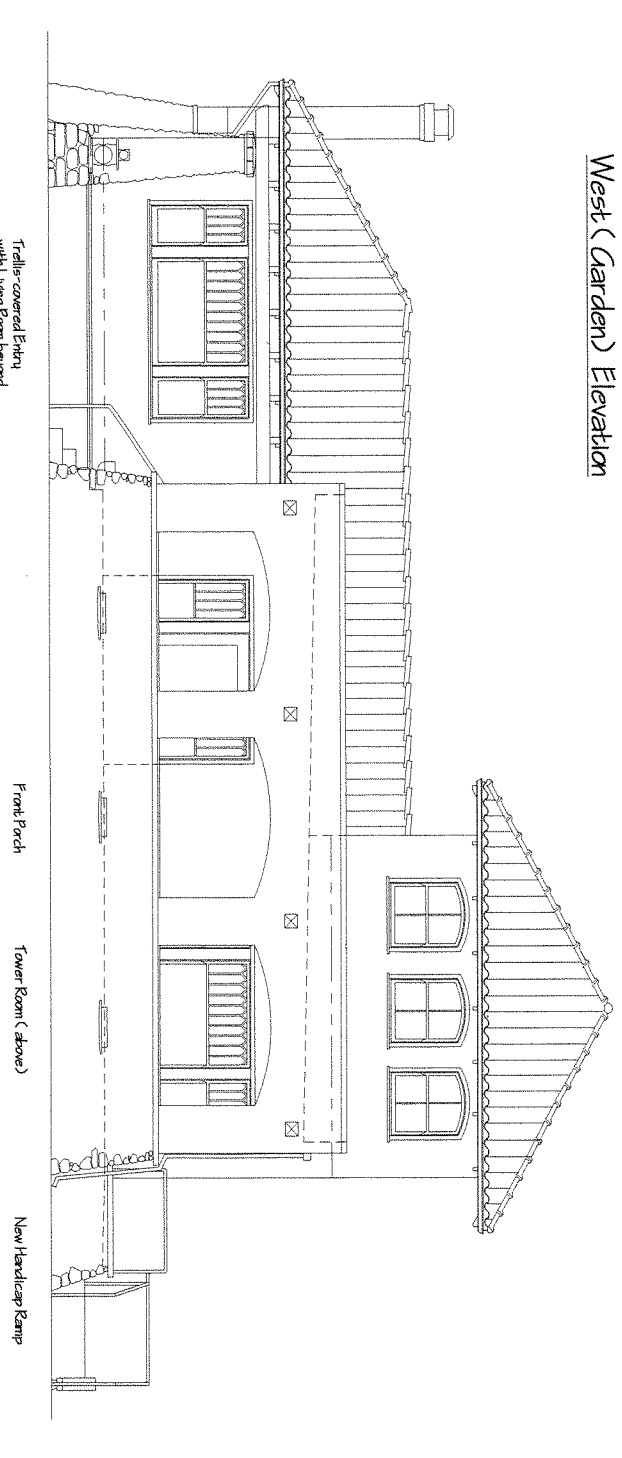
The Steering Committee envisioned that the Ranch House could be used for a variety of functions including an interpretive center and a museum, as well as a place to host various public and private functions. The Entry area would serve as one of two Exhibit Rooms with the natural light illuminating a central display case while pictures and other display information could be setup along the walls. The Living Room and Dining Room area would be furnished with Craftsman Style furnishings suitable for meetings, receptions or casual hangouts. A modification to the bath's safety concerns of the building is recommended to create another exhibit room and a new exit to satisfy safety concerns of the building officials. The Front Bedroom could be used as an Office or Special Use Area. A handicap ramp enabling access to the Front Porch from the east side would resemble the battered stone foundation walls of the original house. In order that the facility adequately support the hosting various public and private functions, the Kitchen would be remodelled to include modern cooking and cleaning equipment integrated into the historic setting. The Screen Porch would serve as the primary cooking area in order to meet building code requirements. The main Kitchen would be used for preparations and cleaning. The Tower Room, due to its inaccessibility, has limited options for reuse.

It's easy to imagine the rehabilitated Keller Ranch House becoming a facility dedicated to preserving important information about the history of the region as well as the important cattle ranching period in Clanton. Its charming character and bucolic setting also make it an attractive location to host community events, and will help establish the Keller Ranch House as an important local historical landmark.

West (Garden) Elevation



South (Front) Elevation



The Kitchen and Screen Porch would be easily accessible and be used to support larger events hosted on the site.

Modifications to the back Bedrooms would create and a large Exhibit Room and provide code required exit improvements without altering the primary character defining a core of the House.

The Bath room would be remodelled for accessibility, but the primary toilet facilities would be located nearby in a separate building.

A handicap ramp would be added to provide accessibility to the primary entry of the house. The ramp will incorporate battered stone walls to be compatible with the character of the existing house.

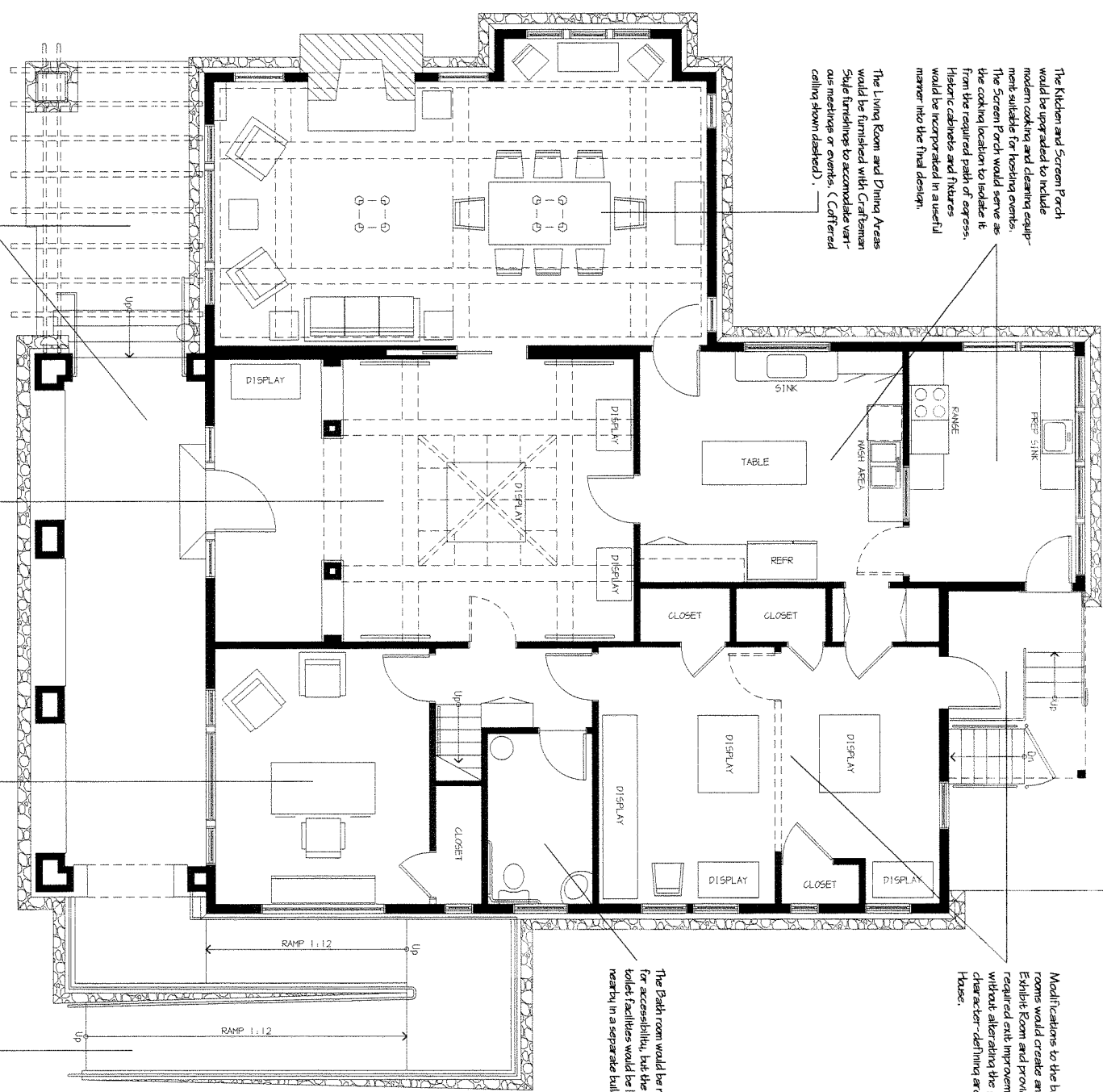
A trellis-covered walkway and Entry Porch link the primary entry of the House to the historic garden area.

The Entry, with its large skylight, would serve as a Exhibit Room and reception area. (Skylight & ceiling trim shown dashed).

The Front Bedroom could serve as an Office or Special Use Area.

The Kitchen and Dining Areas would be furnished with Craftsman Style furnishings to accommodate various meetings or events. (Coffered ceiling shown dashed).

The Kitchen and Screen Porch would be upgraded to include modern cooking and cleaning equipment suitable for hosting events. The Screen Porch would serve as the cooking location to isolate it from the required path of egress. Historic cabinets and fixtures would be incorporated in a useful manner into the final design.



First Floor Plan

INDEX OF DRAWINGS

- SD-1 SITE PLAN
- SD-2 FOUNDATION / BASEMENT PLAN
- SD-3 FIRST FLOOR PLAN
- SD-4 SECOND FLOOR / ROOF PLAN
- SD-5 EXTERIOR ELEVATIONS
- SD-6 EXTERIOR ELEVATIONS
- SD-7 BRIDGE PLAN AND ELEVATION

GENERAL SITE NOTES

ARCHAEOLOGY: SITE IS PART OF AN ARCHAEOLOGICAL SITE DATING BACK AN ESTIMATE 3-4000 YEAR PRESERVATION OF THIS RESOURCE IS REQUIRED AND ALL WORK INVOLVING EXCAVATION, TRENCHING OR DIGGING OF ANY SORT SHALL BE SUPERVISED BY THE PROJECT ARCHAEOLOGIST. FINDING OF SIGNIFICANT ARCHAEOLOGICAL MATERIALS MAY REQUIRE FURTHER EXPLORATIONS AND DELAY CONSTRUCTION PROGRESS.

NEW CONSTRUCTION: NEW FOUNDATIONS SHALL BE PLACED ENTIRELY ON ENGINEERED FILL AND SHALL NOT PENETRATE THE SURFACE OF THE NATIVE SOIL. ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE WITH CURRENT BUILDING CODES AND ORDINANCES.

OUTBUILDINGS: THESE HISTORIC OUTBUILDINGS ARE UTILIZED ON THE SITE. THE GARAGE (MARKED WITH THE 'X' SYMBOL) WILL REQUIRE REPAIR OF THE CONCRETE SLAB FOUNDATION, INTERIOR FINISHES INCLUDING THE ROOF. ELECTRICAL SERVICE IS REQUIRED FOR LIGHTING AND UTILITY OUTLETS. THE OTHER TWO OUTBUILDINGS WILL BE UTILIZED FOR DISPLAY ONLY. PROVIDE SLAB FOUNDATIONS AND EXTERIOR REPAIRS, INCLUDING ROOF, SIDING, DOORS AND WINDOWS, TO PROTECT THE BUILDINGS FROM DETRIORATION.

ROADS AND PATHS: DRIVEWAYS SHALL BE ASPHALT PAVING OVER A ROCK BASE IN PRIMARY TRAFFIC AND PARKING AREAS. SERVICE ROADS AND LIMITED ACCESS AREAS SHALL HAVE GRAVEL ONLY. PEDESTRIAN PATHS SHALL BE DECOMPOSED GRANITE. STAIRS AND RAMPS SHALL BE REINFORCED CONCRETE.

LANDSCAPING & IRRIGATION: SOIL IS NOT PERMITTED DUE TO THE ARCHAEOLOGICAL DISPOSITION THEREOF. FILL MUST BE PLACED IN AREAS WHERE LANDSCAPING IS REQUIRED. WHERE FILL IS NOT FEASIBLE, THE PROJECT ARCHAEOLOGIST MUST OBSERVE THE EXCAVATION WORK.

RELIABLE: SEE STRUCTURAL ENGINEER'S REPORT AND SHEET SD-1 FOR MORE INFORMATION.

SITE KEY NOTES

- 1 REHABILITATED HISTORIC RANCH HOUSE- SEE PLANS & ELEVATIONS
- 2 REHABILITATED HISTORIC OUTBUILDING
- 3 STRUCTURALLY IMPROVED HISTORIC BRIDGE- SEE SHEET SD-1
- 4 REHABILITATED HISTORIC GARDEN AND POND
- 5 HISTORIC JEB CLAYTON HOME FOUNDATION TO REMAIN
- 6 NEW OPEN-AIR PAVILION MODELED AFTER CATTLE BARN
- 7 NEW STORAGE BUILDING MODELED AFTER OUTBUILDINGS (PROVIDES TWO 200 SQUARE FOOT STORAGE SPACES)
- 8 RECONSTRUCTED HISTORIC WATER TOWER AND WINDMILL
- 9 ACCESSIBLE PUBLIC TOILETS
- 10 ASPHALT-PAVED ROAD
- 11 GRAVEL SERVICE ROAD (FIRE DEPARTMENT ACCESS)
- 12 ACCESS RAMP- SEE FLOOR PLAN
- 13 EXISTING EQUESTRIAN AND WALKING TRAIL (HERITAGE TRAIL)
- 14 ACCESSIBLE PARKING AREA
- 15 OPTIONAL PEDESTRIAN BRIDGE AND PATH CONNECTING TO CITY HALL
- 16 PLODIC AREA
- 17 CHILDREN'S PLAY AREA
- 18 LANDSCAPE AREA



SITE PLAN
SCALE: 1" = 20'

DRAWINGS NOT TO SCALE IF SHEET LESS THAN 36" x 24"

**Keller House
Rehabilitation**
6015 Heritage Trail
Clayton, CA 94517

**THOMAS SAXBY
ARCHITECT**

110 Linden Street
Oakland, California 94607
M 510.451.1720 F 510.451.1748

RECEIVED
FEB 14 2003
CLAYTON COMMUNITY
DEVELOPMENT DEPT.

CONSULTANT		NO.	DATE	ISSUE
△				
△				
△		02/12/03	REVIEW	
		08/28/02	REVIEW	

**SITE PLAN
(PRELIMINARY)**

SCALE AS NOTED
SD-1
SHEET 1 of 7

GENERAL REHABILITATION NOTES

REFER TO SHEET 90-3 FOR ADDITIONAL REHABILITATION NOTES AND INFORMATION

FOUNDATION:
REMOVE EXISTING CONCRETE FOUNDATION AND PROVIDE NEW REINFORCED CONCRETE GRADE BEAM WITH DRILLED CONCRETE AND METAL HELICAL PIERS EXTENDING 14 TO 16 FEET BELOW GRADE. THE ORIGINAL STONE MASONRY VENEER SHALL REMAIN IN PLACE AND SHALL BE UNDERPINNED. THE CONCRETE SLAB AND WALLS FORMING THE BASEMENT SHALL BE REMOVED AND REPLACED WITH REINFORCED CONCRETE. REPAIR AND RE-POINT THE STONE MASONRY WITH LIKE BEBED WORKING TO MATCH EXISTING WORK. STRENGTH AND COLOR. (NOTE: EXCAVATION SHALL BE SUPERVISED BY THE PROJECT ARCHITECT/GEOLIST). SEE STRUCTURAL ENGINEER'S REPORT FOR ADDITIONAL INFORMATION.

SHORING AND LABELING:
LIMIT HOUSE ON TEMPORARY SHORING FOR FOUNDATION WORK. LEAVE EXISTING WOOD FRAMING IN AREAS WHERE SETTLEMENT HAS OCCURRED AT EXTERIOR AND INTERIOR BEARING WALLS. SET HOUSE ON NEW FOUNDATIONS AND ATTACH WITH ANCHOR BOLTS.

WOOD FRAMING:
PROVIDE ANCHOR BOLTS, PLYWOOD SHEATHING AND MISCELLANEOUS METAL CONNECTORS PER STRUCTURAL ENGINEER'S REPORT.

MECHANICAL:
REPLACE EXISTING BOILER WITH NEW ENERGY-EFFICIENT PACKAGED HEATING AND COOLING SYSTEM (APPROX. 5 TON UNIT). PROVIDE NEW DUCTWORK UTILIZING EXISTING BASEBOARD GRILLES.

HAZARDOUS MATERIALS:
A COMPLETE HAZARDOUS MATERIALS SURVEY AND REPORT SHOULD BE COMPLETED BY THE OWNER. IDENTIFICATION TAGS, WHERE APPROPRIATE, SHOULD BE COMPLETED PRIOR TO CONSTRUCT WORK COMMENCING.

**Keller House
Rehabilitation**

6015 Heritage Trail
Clayton, CA 94517

**THOMAS SAXBY
ARCHITECT**

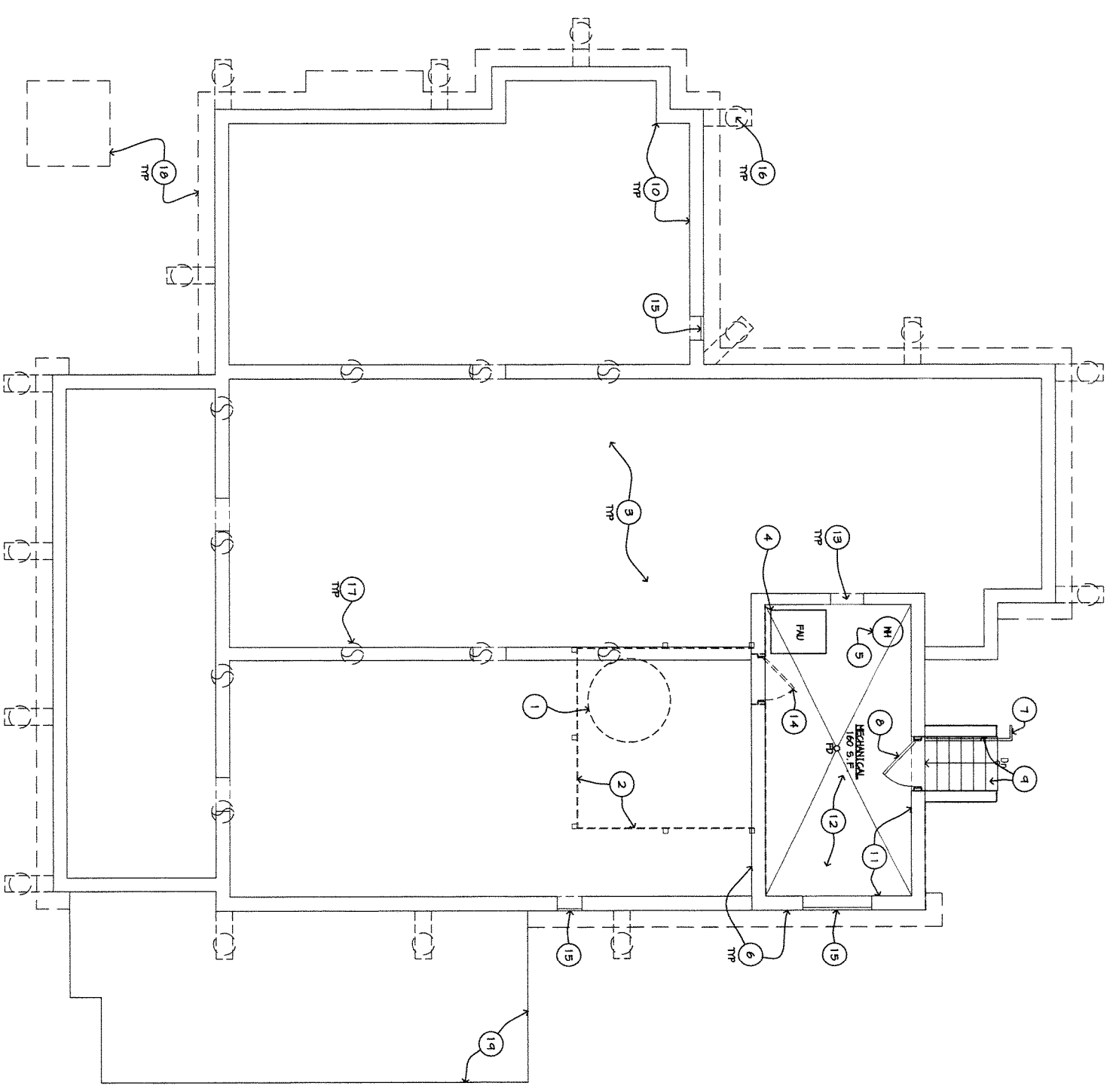


110 Linden Street
Oakland, California 94607
M 510.451.1720 (F) 510.451-1748

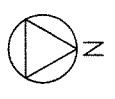
RECEIVED
FEB 14 2003
CLAYTON COMMUNITY
DEVELOPMENT DEPT.

BASEMENT KEY NOTES

- 1 REMOVE EXISTING BOILER EQUIPMENT & DUCTWORK.
- 2 REMOVE (E) WOOD SHORING, AND BACKFILL.
- 3 COVER GROUND SURFACE THROUGHOUT GRAWL SPACE WITH VAPOR BARRIER.
- 4 PROVIDE NEW PACKAGE HVAC SYSTEM WITH VENT TO ROOF.
- 5 PROVIDE NEW WATER HEATER WITH VENT TO ROOF.
- 6 PROVIDE WATERPROOF MEMBRANE AND BACK-DRAIN ASSEMBLY AROUND BASEMENT WALLS.
- 7 PROVIDE METAL HANDRAIL.
- 8 REMOVE, REPAIR AND REINSTALL (E) DOOR ASSEMBLY.
- 9 CONSOLIDATE AND RESURFACE (E) CONCRETE WALLS AND STAIRS.
- 10 REMOVE AND REPLACE (E) FOOTINGS WITH REINFORCED CONCRETE GRADE BEAM.
- 11 REMOVE AND REPLACE (E) BASEMENT WALLS WITH REINFORCED CONCRETE WALLS.
- 12 REMOVE AND REPLACE SLAB WITH REINFORCED CONCRETE SLAB. PROVIDE FLOOR DRAIN.
- 13 24"x10" ACCESS OPENING TO GRAWL SPACE.
- 14 REMOVE (E) DOOR.
- 15 (E) GRAWL SPACE VENT TO REMAIN.
- 16 REINFORCED CONCRETE PIERS, APPROXIMATELY 12 FEET ON CENTER, WITH SUBTERRANEAN TIES TO GRADE BEAM.
- 17 HELICAL METAL PIERS, APPROXIMATELY 8 FEET ON CENTER.
- 18 UNDERPIN EXISTING STONE MASONRY.
- 19 REINFORCED CONCRETE SLAB ON GRADE (FOR RAMP).



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



NO.	DATE	ISSUE
08/28/02	REVIEW	

**BASEMENT FLOOR
PLAN
(PRELIMINARY)**

SCALE: AS NOTED
SD-2
SHEET 2 of 7

GENERAL REHABILITATION NOTES

STRUCTURAL:
 STRUCTURAL ENGINEER'S REPORT FOR GENERAL DESCRIPTION OF STRUCTURAL REPAIRS. THE SOIL WILL BE TO IMPROVE WITH PLYWOOD SHEATHING AND METAL CONNECTORS, APPROXIMATELY 75% OF EXTERIOR WALLS AND 16 LINEAR FEET OF INTERIOR WALLS TO PERFORM AS SHEAR WALLS.

CODE COMPLIANCE:
 PROVIDE METAL HANDRAILS AT EXISTING EXIT STAIRS. PROVIDE FIRE ALARM SYSTEM WITH MANUAL CALL STATIONS AT EXIT LOCATIONS. PROVIDE EXIT SIGNS AND EXIT ILLUMINATION TO DEMARKATE EXIT PATH (PRIMARY ENTRY DOOR DOES NOT REQUIRE AN EXIT SIGN). SECOND FLOOR IS NOT ACCESSIBLE AND SHALL BE USED ONLY AS REDUNDANT SPACE FOR FIRST FLOOR FUNCTIONS OR ACTIVITIES.

ACCESSIBILITY:
 PROVIDE ACCESS RAMP TO PRIMARY ENTRY. EXISTING BATHROOM IS NON-COMPLIANT AND THEREFORE NOT AVAILABLE FOR USE. SEE SHEET SP-1 FOR ACCESSIBLE TOILET AND DRINKING FOUNTAIN WITHIN 200 FEET OF FACILITY.

INTERIOR FINISHES:
 REFINISH EXISTING INTERIOR FLOOR, WALL AND CEILING FINISHES, OR REPLACE DAMAGED/MISSING FINISHES IN KIND TO MATCH ORIGINAL. IN AREAS WHERE ORIGINAL WOODWORK IS PAINTED (EXCEPT BATHROOMS), STRIP PAINT TO RESTORE NATURAL WOOD FINISH. REPLACE DAMAGED OR MISSING WALL OR CEILING PLASTER WITH GYPSUM BOARD.

FURNITURE:
 PROVIDE REPRODUCTION CRAFTSMAN STYLE FURNITURE IN HEATING ROOM AREA. PROVIDE DISPLAY CASES IN EXHIBIT ROOMS AND OFFICE FURNITURE FOR OFFICE. KITCHEN SHALL RECEIVE A WORKABLE AND NEW LIGHT-COMMERCIAL APPLIANCES. REMOVE EXISTING HORIZONTAL BLINDS AND PROVIDE PERIOD-STYLE CLOTH HANGERS AND CURTAIN RODS.

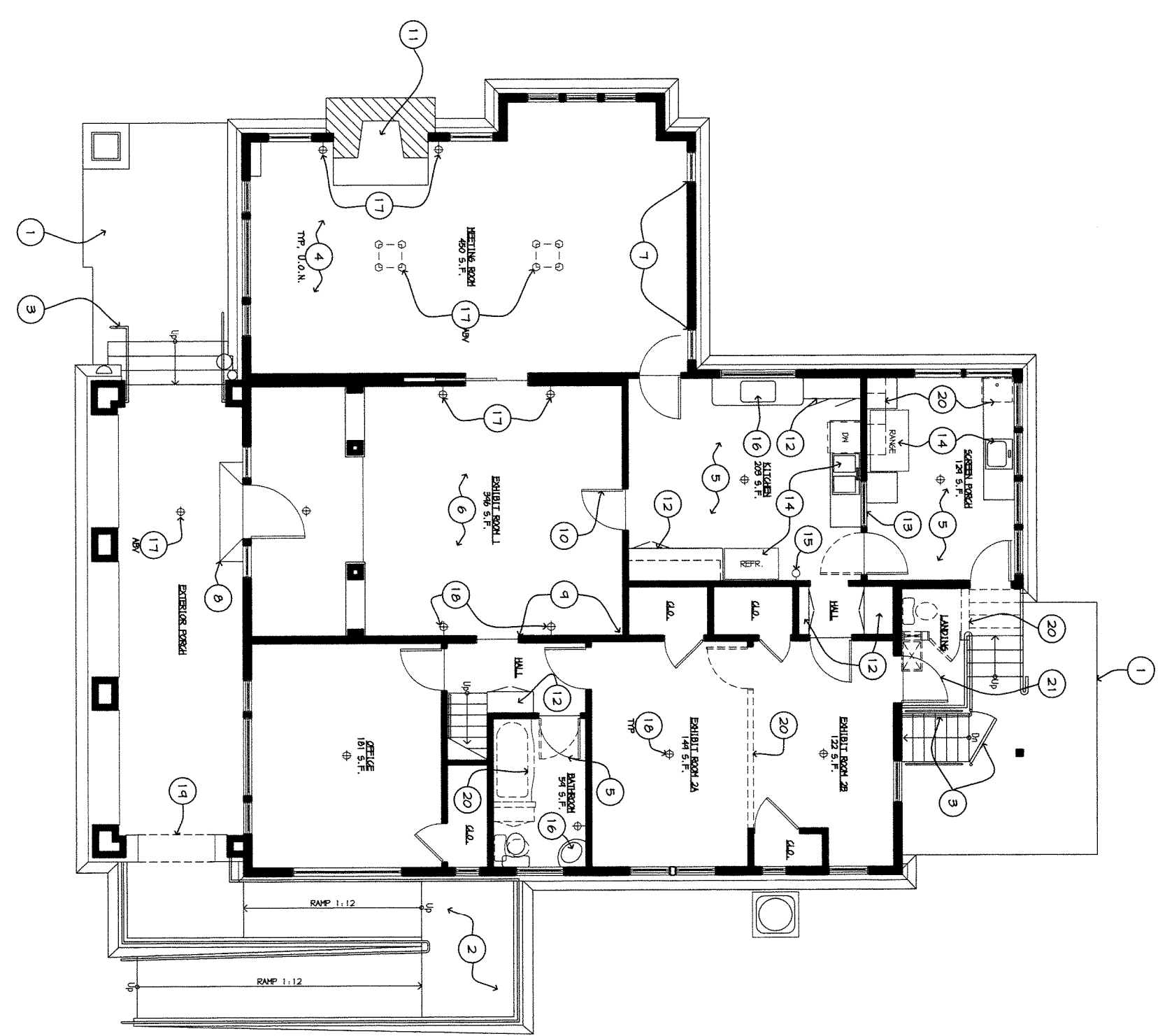
PLUMBING/MECHANICAL:
 PROVIDE NEW WATER, SEWER AND GAS SERVICE IN COMMON UTILITY TRENCH. REPLACE ALL EXPOSED PIPING WITH NEW CODE-COMPLIANT PLUMBING. UTILITY SERVICE ENTRANCE IS TENTATIVELY FROM THE EXISTING MAINTENANCE YARD TO THE NORTHWEST OF THE HOUSE. REPLACE DETRIORATED FURNACE WITH FORCED AIR HVAC SYSTEM UTILIZING EXISTING INTERIOR VENTS AND GRILLS.

ELECTRICAL:
 PROVIDE NEW UNDERGROUND ELECTRICAL SERVICE, METER AND BREAKER PANEL. REMOVE HOUSE AND REPLACE SWITCHES AND RECEPTACLES WITH COMPATIBLE RECEPTACLES. REPAIR HISTORIC CHANDELIERS, WALL SOCKETS, AND PENDANT FIXTURES. AND PROVIDE REPLICA OR COMPATIBLE NEW LIGHT FIXTURES WHERE HISTORIC FIXTURES ARE MISSING. PROVIDE COMMUNICATION SERVICES AS REQUIRED BY OWNER.

ALTERATIONS:
 WHERE REQUIRED, SHALL BE LOCATED IN SECONDARY BUILDING AREAS, AND SHALL PRESERVE THE CHARACTER-DEFINING FEATURES AND FINISHES.

FIRST FLOOR KEY NOTES

- 1 REMOVE & REPLACE DAMAGED CONCRETE PATIO/WALKWAY TO MATCH EXISTING
- 2 PROVIDE HANDICAP RAMP- SEE ELEVATION
- 3 PROVIDE METAL HANDRAIL AND/OR METAL GATE WHERE OCCURS
- 4 REPAIR AND REFINISH WOOD STRIP FLOORING
- 5 REMOVE AND REPLACE DETRIORATED LINOLEUM SHEET FLOORING.
- 6 REPAIR AND REFINISH SEAMLESS GEMBITIOUS FLOORING
- 7 RECONSTRUCT MISSING WOOD WALL PANELING AND PLATE RAIL TO MATCH ADJACENT PANELING
- 8 PROVIDE METAL THRESHOLD RAMP
- 9 REMOVE AND REPLACE WATER-DAMAGED WALL FINISHING AND FINISHES
- 10 REPLACE MISSING DOOR TO MATCH SIMILAR EXISTING DOORS
- 11 INSPECT AND REPAIR CHIMNEY, FIREPLACE AND HEARTH
- 12 REPAIR AND REFURBISH WOOD CABINETS AND COUNTERTOPS.
- 13 REPLACE MISSING WINDOW TO MATCH SIMILAR EXISTING WINDOWS
- 14 PROVIDE KITCHEN EQUIP. (LIGHT-COMMERCIAL QUALITY) INCLUDING REFRIGERATOR, RANGE, DISHWASHER, SINKS AND RELATED WORK SURFACES.
- 15 WALL-MOUNTED FIRE EXTINGUISHER
- 16 REPAIR AND REFURBISH (E) PLUMBING FIXTURES. REPLACE FIXTURES, DAMAGED BEYOND REPAIR, IN KIND.
- 17 REPAIR AND REFURBISH HISTORIC LIGHT FIXTURE
- 18 REPLACE MISSING HISTORIC LIGHT FIXTURE TO MATCH SIMILAR EXISTING FIXTURE.
- 19 REMOVE WALL BELOW PORCH OPENING FOR ACCESS TO RAMP. REPAIR TO MATCH (E) SURFACES
- 20 REMOVE (E) ITEM SHOWN DAMAGED.
- 21 PROVIDE EXIT DOOR, LANDING AND STAIR.



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

**Keller House
 Rehabilitation**
 6015 Heritage Trail
 Clayton, CA 94517

**THOMAS SAXBY
 ARCHITECT**

110 Linden Street
 Oakland, California 94607
 (M) 510.451.1720 (F) 510.451.1748

RECEIVED
 FEB 14 2003
 CLAYTON COMMUNITY
 DEVELOPMENT DEPT.

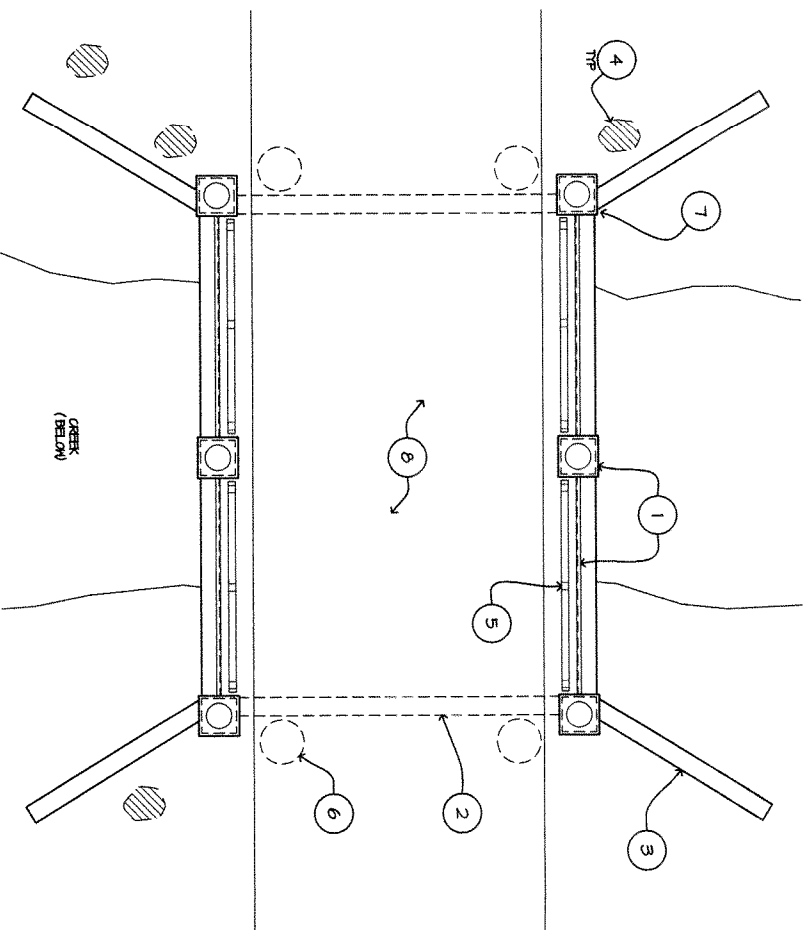
NO.	DATE	ISSUE
02/12/03	REVIEW	
08/28/02	REVIEW	

**FIRST FLOOR
 PLAN
 (PRELIMINARY)**

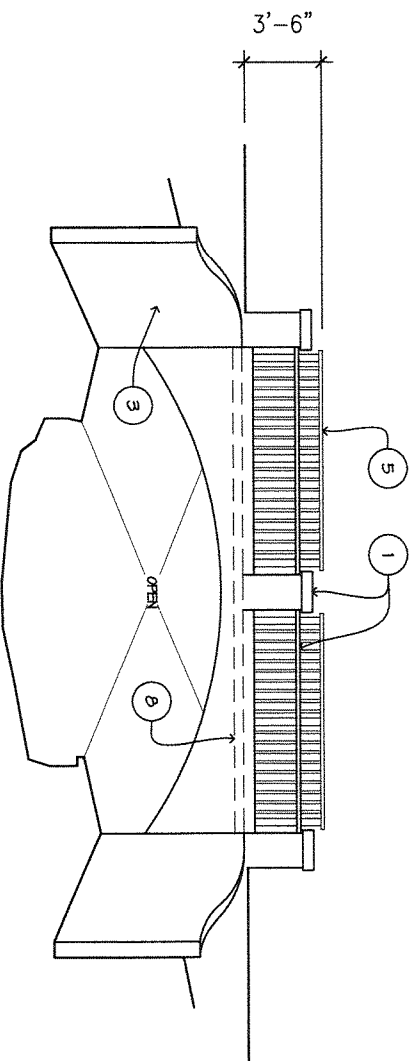
SCALE: AS NOTED
SD-3
 SHEET 3 of 7

BRIDGE KEY NOTES

- 1 (E) CONCRETE & STONE PILLAR, AND METAL RAILING TO REMAIN
- 2 (E) CONCRETE FOOTING TO REMAIN
- 3 (E) CONCRETE ABUTMENT TO REMAIN
- 4 REMOVE (E) TREES, INCLUDING ROOTS, WITHIN 10 FOOT RADIUS OF ABUTMENTS
- 5 METAL GUARDRAIL WITH PICKETS SPACED 4' O.C. MAXIMUM (ROUGH IMPACT RESISTANT)
- 6 DRILLED CONCRETE PIER- SEE STRUCTURAL ENGINEER'S REPORT
- 7 EPOXY AND DOWEL CORK IN (E) ABUTMENT
- 8 ASPHALT ROADWAY AND GRAVEL BASE OVER 5' STRUCTURAL CONCRETE SLAB



BRIDGE PLAN
SCALE: 1/4" = 1'-0"



BRIDGE ELEVATION
SCALE: 1/4" = 1'-0"

**Keller House
Rehabilitation**

6015 Heritage Trail
Clayton, CA 94517

**THOMAS SAXBY
ARCHITECT**



110 Linden Street
Oakland, California 94607
(T) 510.451.1720 (F) 510.451-1748

RECEIVED
FEB 14 2003
CLAYTON COMMUNITY
DEVELOPMENT DEPT

CONSULTANT

NO.	DATE	ISSUE
△		
△		
△	08/28/02	REVIEW

**BRIDGE PLAN
AND ELEVATION
(PRELIMINARY)**

SCALE AS NOTED

SD-7

SHEET 7 of 7