

Creekside Terrace Project Description

Property Description

The City of Clayton has public title to three parcels of land, two that front Oak Street (APN 19-050-034 and 19-050-035) and a third parcel to the west of Mitchell Creek (APN 19-050-036). Additionally, a parcel to the north of these parcels is a largely unused right-of-way intended for the extension of Center Street, immediately to the south of the project is the High Street right-of-way which is currently proposed to provide access for 3 parcels of land to the west of Mitchell Creek across a small bridge owned and maintained by a special assessment district.

Property History

The parcels were mapped as part of the original town plan established by Joel Clayton in 1857. Aerial photography from the early 1950s indicate structures on the parcels. Mitchell Creek divides the parcels. The parcels are relatively close to where Mitchell Creek meets Marsh Creek. Because Joel Clayton's original land purchase was the confluence of Mitchell and Marsh Creeks it is not a large leap to assume some improvements have been present on these three parcels for over 150 years.

Current Condition/Disposition

The southern parcel fronting on Oak Street (APN 19-050-034) contains two structures. One is an approximately 2,400 sq ft temporary structure erected in the early 1980's to house the Clayton Police Department. Upon completion of the renovated DeMunn Wherry the Police vacated the building. Shortly thereafter PERMCO Engineers (City of Clayton City Engineer) took occupancy of the same building. Additionally, there is a small garage directly on the bank of the creek. To the best of the applicant's knowledge there is no significant historical value to most structure. PERMCO vacated both buildings in early 2009.

The parcel to the north (APN 19-050-035) is also a (approx. 1,700 sq ft) temporary structure originally utilized as the City Offices. It was vacated by the City upon completion of the DeMunn Wherry restoration. The building was recently leased by the City to the Clayton Mind and Body Spa.

All three structures were leased by the City. All three buildings have ongoing maintenance and repair issues related to roof leaks, deck, roof and railing repair and other normal problems associated with a building nearing the end of life.

The parcel to the west (APN 19-050-036) is currently unimproved and anticipated to stay that way. The applicant is proposing to combine the parcel together with the two proposed parcels and the Center Street ROW west of Oak Street. The land to the west of Mitchell Creek is proposed to be left in its natural state and ceased as dedicated open space.

Site Development Proposal

Due to the very low volume of traffic currently utilizing and anticipated in the future along the High Street right-of-way the applicant has proposed to utilize approximately 19' feet of this parcel (parcels APN 19-050-034, 19-050-035) for the project. The portion of the project is planned to be improved with landscaping, residential driveways, project and neighborhood trash enclosures. The three lots to the west of the High Street bridge currently occupy shore most receptacles within the right-of-way due to the inability of maneuvering trash equipment on the west side of the bridge. This trash storage is a violation of Clayton Municipal Code and an eye sore to the downtown area. The applicant's proposal would mitigate that existing condition with the construction of new enclosures for use by those residents. The parcel directly to the south of High Street is currently an abandoned home. The fence line of that home encroaches into the right-of-way. That issue will need to be reconciled as a part of the proposed improvements.

Based on research by the applicant's design team there is no clearly defined or the dividing the eastern and western parcels of property (assumed to be Mitchell Creek). Since the applicant plans to merge these parcels the proposed location of that line will become unnecessary to locate.

Creekside Terrace Project Description

The Center Street right-of-way to the north of the project is proposed by the City to be addressed since the full depth of extending Center Street across the creek and up the hill to the north. This full depth bridge project is proposed to serve as a public market. The applicant is proposing to improve his property as a part of the creek restoration plan with the addition of an interpretive park. The interpretive park is envisioned as an improved area outside of the riparian corridor providing a seating area and descriptive plaques intended to educate users about bay area water shed and Mitchell Creeks role in that ecosystem.

Building Development Proposal

The applicant is proposing a building envelope facing onto Oak Street extending from the High Street right-of-way to the Center Street right-of-way. The creek side portion of the building is proposed to be tied back from the creek bank to at least a point consistent with the existing structures and many areas would remove existing improvements that encroach near the existing top of bank. The building is proposed as a two story structure. The ground floor is proposed to house approximately 7,000 sq ft of retail space and parking for the residential portion of the project. Additionally, the ground floor is proposed to include two entries for the residential portions of the building. The building also is proposed to step in elevation consistent with the slope of Oak Street and the 10' of Mitchell Creek as it moves from south to north.

The second floor of the building is proposed as seven residential units with a community room that overlooks the creek. The applicant is proposing to provide a "Terrace" Map as part of the development plan submitted that will sub-divide the upper floor as seven for-sale condominiums.

The lot line currently between the southern parcel (APN 19-050-034) and the northern parcel (APN 19-050-035) is also proposed to be abandoned as a part of the development process.

Parking for the residential units is proposed to be provided in seven single wide garages facing High Street. Each garage is proposed to include a hydraulic lift allowing two standard sized vehicles to be stacked within the garage. Each garage is proposed to be associated with one of the units thus providing the coordination of vehicle placement on the lot. Further, the center of each parking in addition each unit is proposed to be provided with a 9' deep driveway that would be allocated as guest parking for the project.

Retail entrances are proposed to be on an elevation not exceeding a 2% cross slope measure from the Oak Street sidewalk from the existing curb. This will allow for easy access to retail shops from the pedestrian flow along Oak Street and conform to both Clayton City sidewalk standards and ADA requirements. The proposed elevations of the retail spaces to achieve this proposed solution will closely follow the existing terrain and result in close to a balanced curb cut. There is no anticipation for large amount of expansion of site during the construction phase of the project. The compromise made in the design to match the building to the existing terrain is the finish floor may be below the 100 year flood plain in some locations. To mitigate this issue the retail entries are being proposed to include manually inserted flood gates to protect the contents of the building in the unlikely event of a flood.

Project Team:

Architecture:
VIZFX
PO Box 974
Clayton, CA 94517
with KTGy - Irvine, CA

Civil:
DeBolt Civil Engineering
811 San Ramon Valley Blvd.
Danville, CA 94526

Landscape Architecture:
Gates + Associates
2671 Crow Canyon Rd.
San Ramon, CA 94583

Traffic Engineering:
Abrams Associates
1660 Olympic Blvd.
Walnut Creek, CA 94596

Soils Engineer:
Cundey Geotechnical
2928 Hillsdale Dr.
Concord, CA 94523

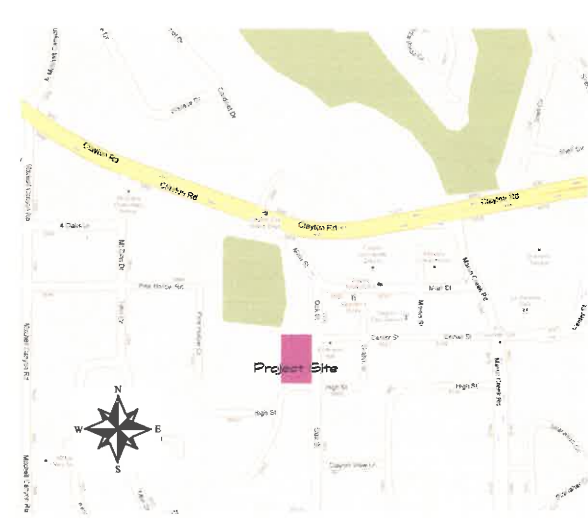
Project Address:

1005 - 1007 Oak St
Clayton, CA 94517

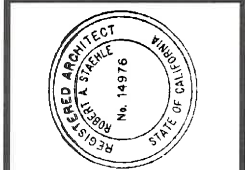
Project Applicant:

City of Clayton,
Redevelopment Agency
6000 Heritage Circle
Clayton, CA 94517

SHEET INDEX		
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T-1	Title Sheet	08
PL-1	Permitting and Title Sheet	08
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PL-6	Stormwater Management Plan	08
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Vicinity Map
NOT TO SCALE



Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

2ND EXTENSION OF CREEKSIDE TERRACE DEVELOPMENT PLAN (DP 01-08) APPROVED DEC 11 2012 BY THE PLANNING COMMISSION

3RD EXTENSION OF CREEKSIDE TERRACE DEVELOPMENT PLAN (DP 01-08) APPROVED DEC 10 2013 BY THE PLANNING COMMISSION

4TH EXTENSION OF CREEKSIDE TERRACE DEVELOPMENT PLAN (DP 01-08) BY THE PLANNING COMMISSION - EXTENSION IS GOOD FROM JANUARY 6, 2015 TO JANUARY 6, 2016

APPROVED DEC - 9 2014 CLAYTON COMMUNITY DEVELOPMENT DEPT.

EXTENSION IS GOOD FROM JANUARY 6, 2013 TO JANUARY 6, 2014

EXTENSION IS GOOD FROM JANUARY 6, 2013 TO JANUARY 6, 2014

EXTENSION IS GOOD FROM JANUARY 6, 2012 TO JANUARY 6, 2013

CREEKSIDE TERRACE DEVELOPMENT PLAN (DP 01-08) EXTENSION (FIRST EXTENSION) APPROVED OCT 25 2011 BY THE PLANNING COMMISSION

CLAYTON COMMUNITY DEVELOPMENT DEPT. EXTENSION IS GOOD FROM JANUARY 6, 2012 TO JANUARY 6, 2013

Approved by City Council on July 6, 2010.
D. Wottenberg

Creekside Terrace - Mixed Use Project

Land Use Entitlement Submittal Package

APPROVED JUL 06 2010 CLAYTON COMMUNITY DEVELOPMENT DEPT.

FILE COPY DP 01-08



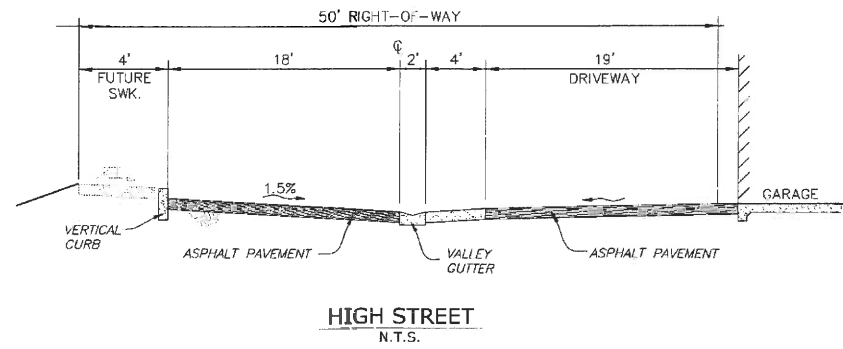
NOT TO SCALE

MARK		DATE	DESCRIPTION
n/a	6/21/10	Rev. Submittal	
n/a	4/23/10	Sign Submittal	
n/a	3/8/10	PC Submittal	

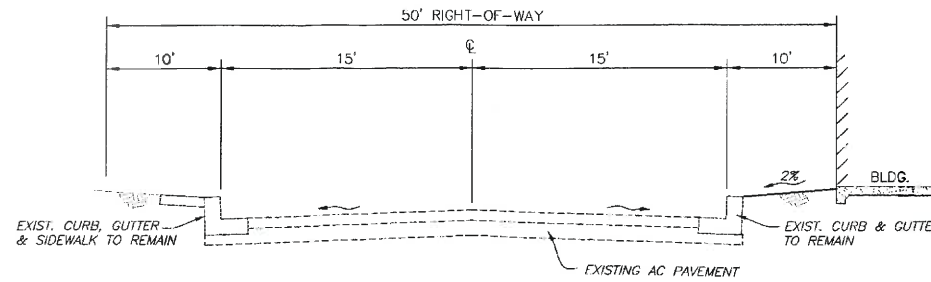
PROJECT NO: 2100116
MODEL FILE:
DRAWN BY: ras
CHKD BY: ras
COPYRIGHT: 2010 VIZFX

SHEET TITLE
Title Sheet

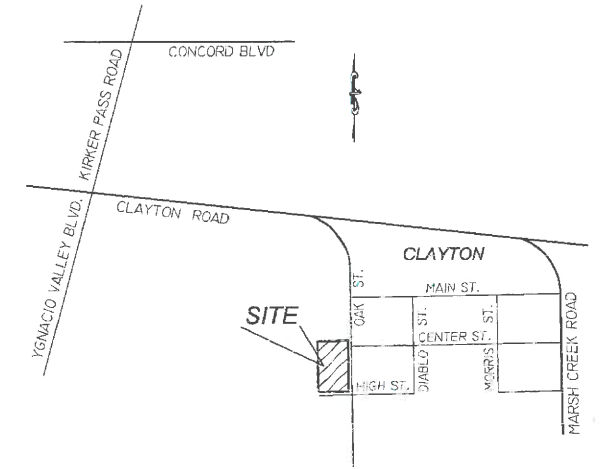
T-1
SHEET 1 OF 17



HIGH STREET
N.T.S.



OAK STREET
N.T.S.



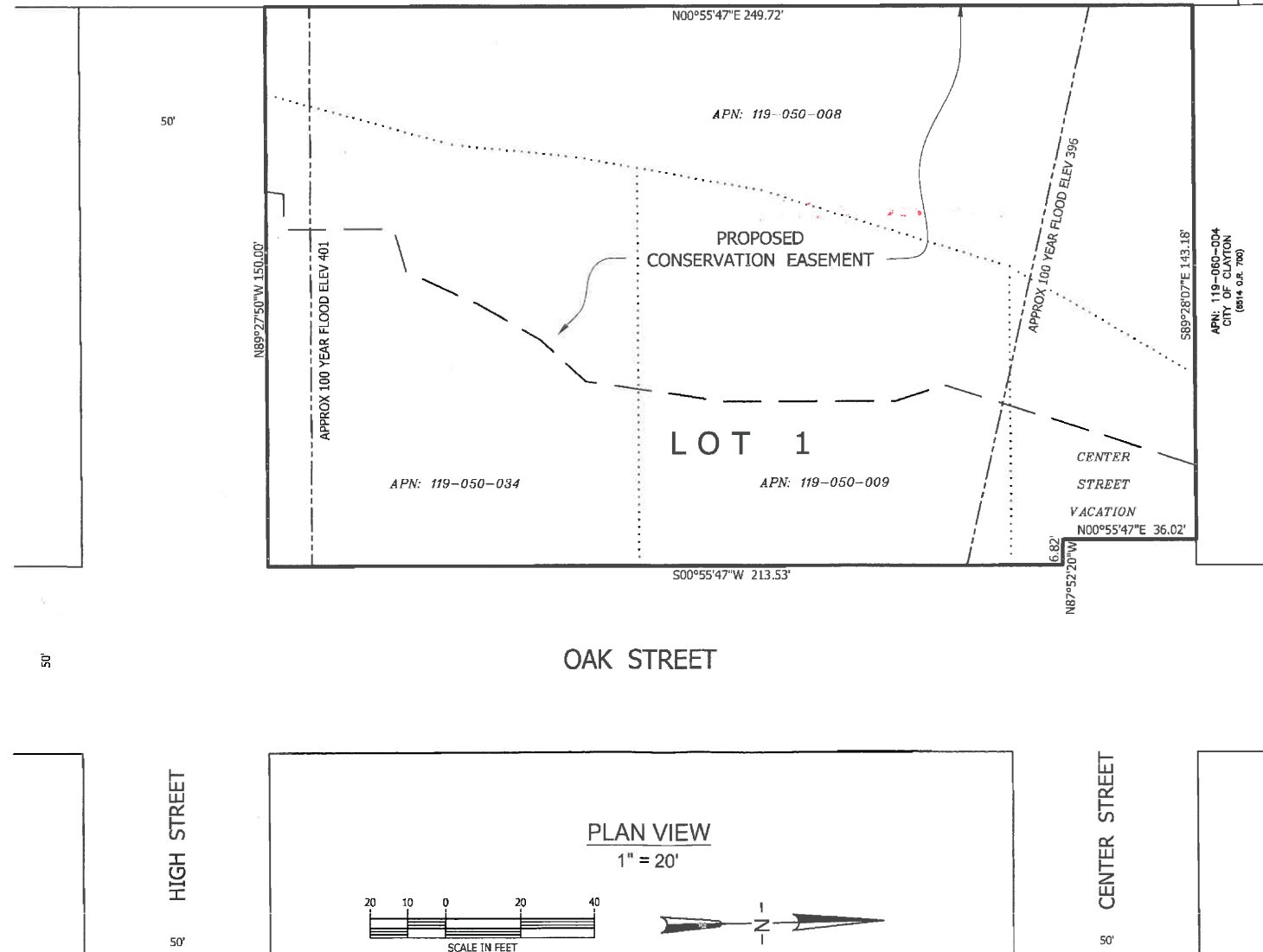
VICINITY MAP
N.T.S.

TENTATIVE MAP NOTES:

- DEVELOPER: CITY OF CLAYTON REDEVELOPMENT AGENCY
6000 HERITAGE TRAIL
CLAYTON, CA 94517
- ENGINEER: DEBOLT CIVIL ENGINEERING
811 SAN RAMON VALLEY BLVD.
DANVILLE, CA 94526
(925) 837-3780
- ASSESSOR'S PARCEL NUMBERS & AREAS:

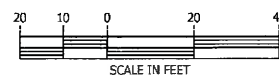
119-050-008	0.30± AC.
119-050-009	0.22± AC.
119-050-034	0.26± AC.
CENTER ST. VACATION	0.07± AC.
TOTAL	0.85± AC.
- ZONING: PLANNED DEVELOPMENT
- PROPOSED ZONING: PLANNED DEVELOPMENT
- GENERAL PLAN: TOWN CENTER
- UTILITIES: GAS & ELECTRIC - P.G.&E.
TELEPHONE - A.T.&T.
SEWER - C.C.C.S.D.
WATER - C.C.W.D.
- UTILITY LOCATIONS SHOWN ARE BASED ON UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY.
- BOUNDARY NOTE: APPROXIMATE BOUNDARY INFORMATION SHOWN WAS COMPILED FROM AVAILABLE RECORD DATA AND DOES NOT REPRESENT AN ACTUAL FIELD BOUNDARY SURVEY.
- BASIS OF BEARINGS: THE MONUMENT LINE OF OAK STREET, BETWEEN TWO FOUND RAILROAD SPIKES, TAKEN AS N 0°55'47" E, AS SHOWN ON THE RECORD OF SURVEY (81-LSM-35).
- EXISTING USE: COMMERCIAL
- PROPOSED USE: COMMERCIAL / RESIDENTIAL
- CONTOUR INTERVAL: 2 FOOT
- TOPOGRAPHY: BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY DEBOLT CIVIL ENGINEERING.
- BENCHMARK: A BRONZE DISK IN THE TOP OF A CONCRETE POST, AT THE "T" OF CLAYTON ROAD (MAIN STREET) AND MARSH CREEK ROAD LEADING SOUTH, 36 FEET SOUTH OF THE CENTERLINE OF CLAYTON ROAD (MAIN STREET), 5.4 FEET SOUTH OF A FIRE HYDRANT, 1.9 FEET WEST OF THE FENCE CORNER POST AND 2.0 FEET SOUTHEAST OF A WITNESS POST. ELEVATION = 393.90
- FLOOD ZONE: THE PROPERTY LIES IN FLOOD ZONE AE AS SHOWN ON COMMUNITY PANEL 0600270001C.

APN: 119-050-036
FRANK
(2002-225309)



OAK STREET

PLAN VIEW
1" = 20'



LEGEND AND ABBREVIATIONS

PROPOSED	EXISTING	DESCRIPTION
(Symbol)	(Symbol)	PENDING EXISTING
(Symbol)	(Symbol)	CONTOURS (1' INTERVALS)
(Symbol)	(Symbol)	SPOT ELEVATION
(Symbol)	(Symbol)	LOT LINE
(Symbol)	(Symbol)	EASEMENT - NE
(Symbol)	(Symbol)	CURB & GUTTER
(Symbol)	(Symbol)	EDGE OF PAVEMENT
(Symbol)	(Symbol)	CURB & GUTTER
(Symbol)	(Symbol)	CRUSHY 1/2" DRAIN BOX
(Symbol)	(Symbol)	NDS NILET OR APPROVED EQUAL
(Symbol)	(Symbol)	SAW CUT LINE
(Symbol)	(Symbol)	TO BE REMAIN
(Symbol)	(Symbol)	TO BE REMOVED
(Symbol)	(Symbol)	HOUSE FOOTPRINT
(Symbol)	(Symbol)	EARTH SHALE
(Symbol)	(Symbol)	DIRECTION OF F.O.W.
(Symbol)	(Symbol)	FINISHED FLOOR
(Symbol)	(Symbol)	PAVEMENT
(Symbol)	(Symbol)	TOP OF CURB
(Symbol)	(Symbol)	EDGE OF PAVEMENT
(Symbol)	(Symbol)	FLOW LINE
(Symbol)	(Symbol)	GROUND
(Symbol)	(Symbol)	GRATE
(Symbol)	(Symbol)	INVERT
(Symbol)	(Symbol)	TOP OF SLAB

SHEET INDEX	
SHEET	DESCRIPTION
1	TITLE SHEET
2	TENTATIVE MAP
3	PRELIMINARY GRADING PLAN
4	UNIT LAYOUT
5	STORM WATER CONTROL PLAN

TITLE SHEET

TENTATIVE MAP 01-08
CREEKSIDE COMMONS
1005 & 1007 OAK STREET
CONTRA COSTA COUNTY

CITY OF CLAYTON

CALIFORNIA

JAMES E. DIGGINS R.C.E. 27818
RENEWAL DATE: 03/31/12

#	REVISIONS	DATE



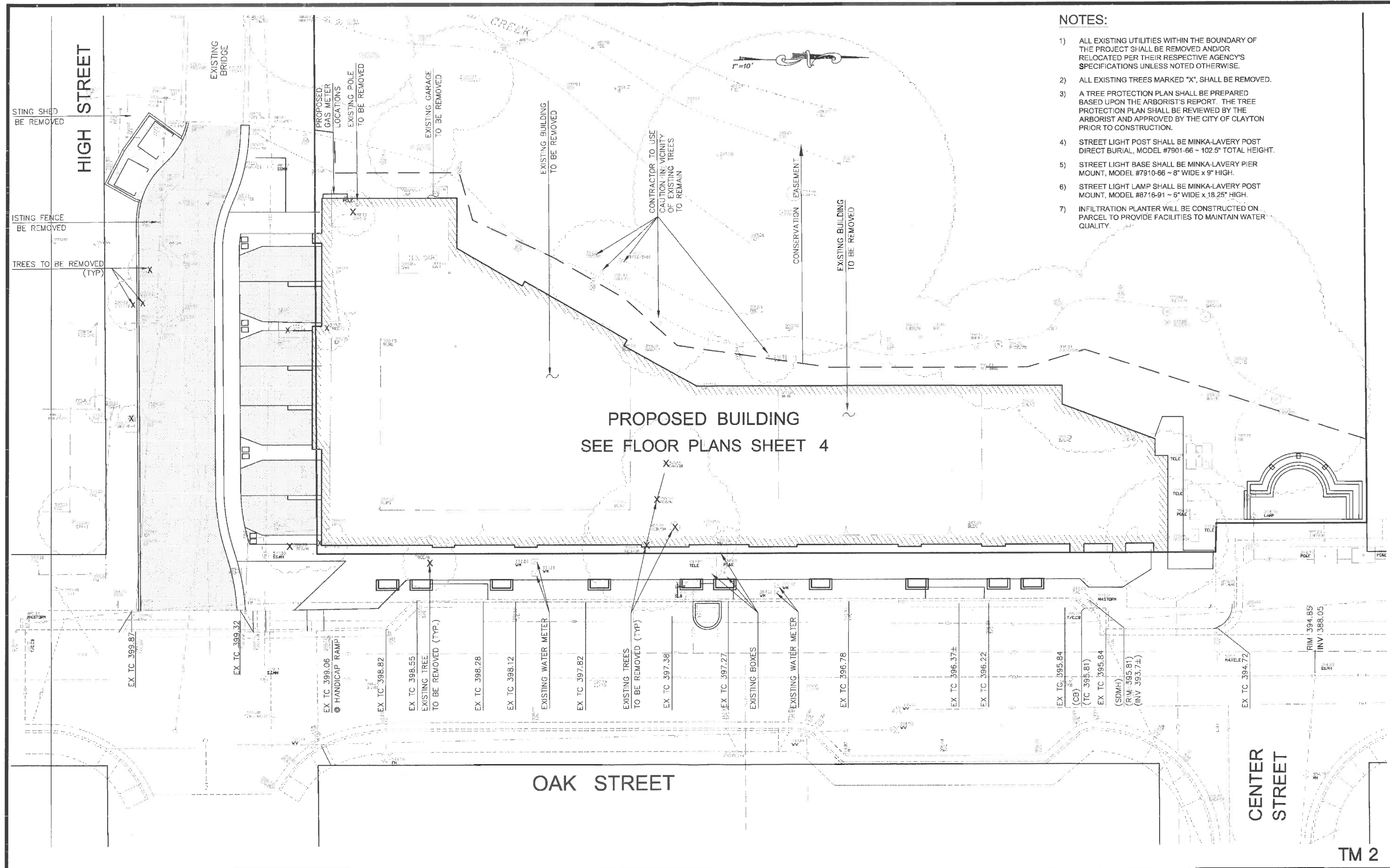
DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378

TM 1

Date: 4/29/2010
Scale: 1" = 20'
By: JED / kl
Job No: 08133

NOTES:

- 1) ALL EXISTING UTILITIES WITHIN THE BOUNDARY OF THE PROJECT SHALL BE REMOVED AND/OR RELOCATED PER THEIR RESPECTIVE AGENCY'S SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 2) ALL EXISTING TREES MARKED "X", SHALL BE REMOVED.
- 3) A TREE PROTECTION PLAN SHALL BE PREPARED BASED UPON THE ARBORIST'S REPORT. THE TREE PROTECTION PLAN SHALL BE REVIEWED BY THE ARBORIST AND APPROVED BY THE CITY OF CLAYTON PRIOR TO CONSTRUCTION.
- 4) STREET LIGHT POST SHALL BE MINKA-LAVERY POST DIRECT BURIAL, MODEL #7901-66 ~ 102.5" TOTAL HEIGHT.
- 5) STREET LIGHT BASE SHALL BE MINKA-LAVERY PIER MOUNT, MODEL #7910-66 ~ 8" WIDE x 9" HIGH.
- 6) STREET LIGHT LAMP SHALL BE MINKA-LAVERY POST MOUNT, MODEL #8716-91 ~ 6" WIDE x 18.25" HIGH.
- 7) INFILTRATION PLANTER WILL BE CONSTRUCTED ON PARCEL TO PROVIDE FACILITIES TO MAINTAIN WATER QUALITY.



TM 2

VESTING TENTATIVE MAP

**TENTATIVE MAP 01-08
CREEKSIDE COMMONS
1005 & 1007 OAK STREET
CONTRA COSTA COUNTY**

CITY OF CLAYTON

CALIFORNIA

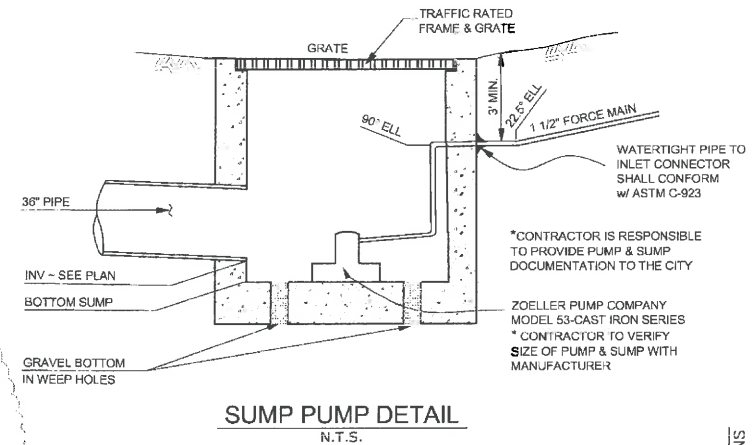
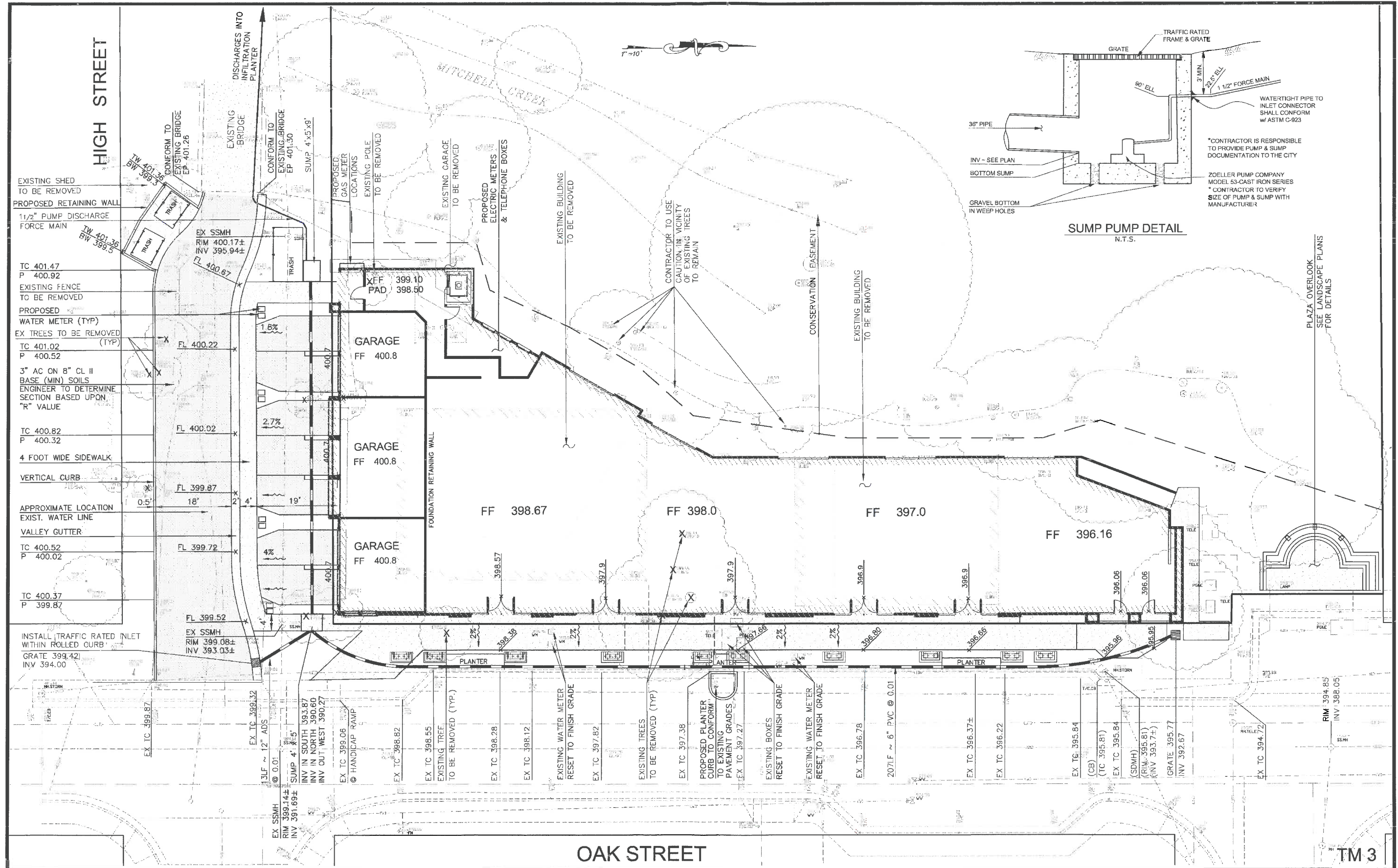
JAMES E. DIGGINS R.C.E. 27816
RENEWAL DATE: 03/31/12

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**PRELIMINARY
GRADING and DRAINAGE PLAN**

**TENTATIVE MAP 01-08
CREEKSIDE COMMONS**
1005 & 1007 OAK STREET
CONTRA COSTA COUNTY

CITY OF CLAYTON

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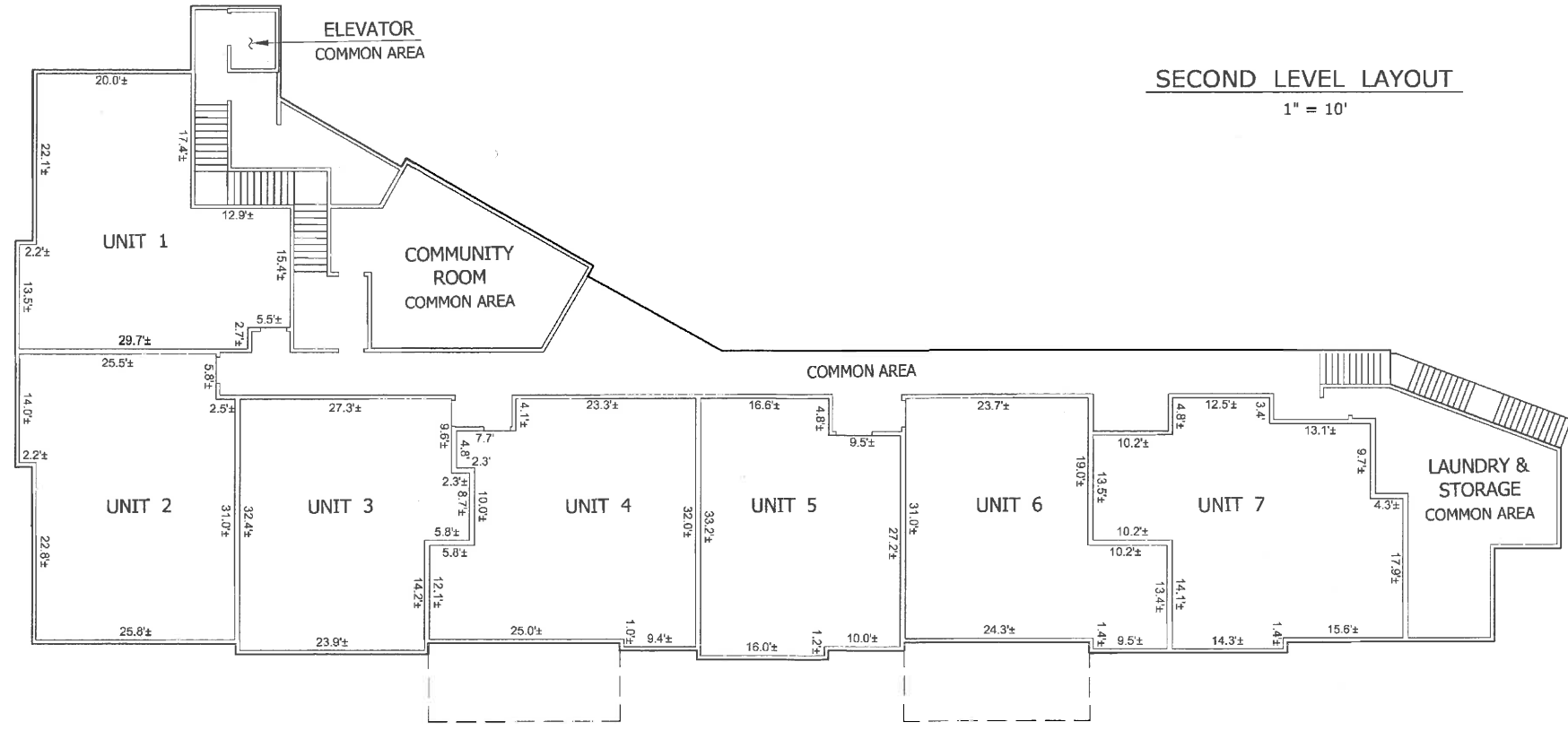
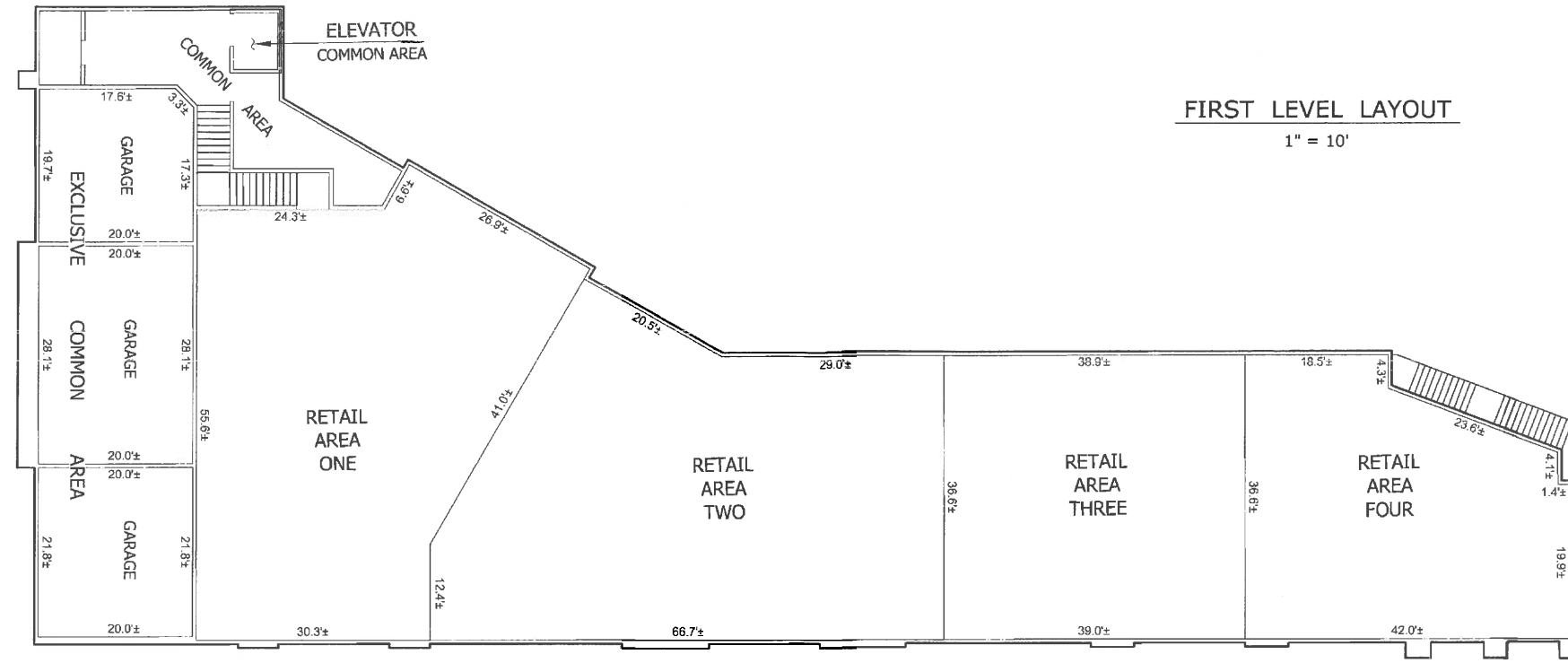
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Job No: 08133



PRELIMINARY
UNIT LAYOUT

TENTATIVE MAP 01-08
CREEKSIDE COMMONS
1005 & 1007 OAK STREET
CONTRA COSTA COUNTY

CITY OF CLAYTON

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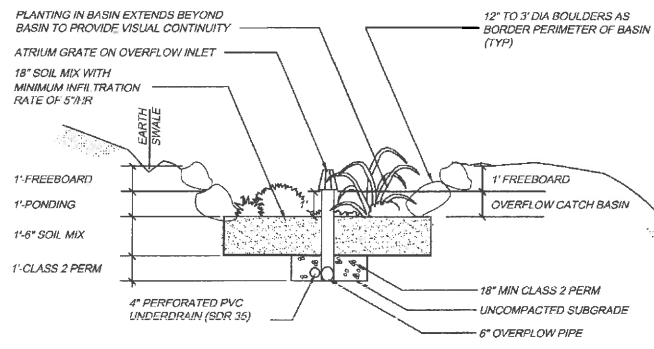


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TM 4

Date: 4/29/2010
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By: JED / kj
Job No: 08133

NOTE: SOIL MIX
 MIX A - TOPSOIL BLEND
 10% - 20% TOPSOIL
 50% - 60% FINE SAND
 30% - 40% COMPOST



FILTRATION PLANTER
 N.T.S.

UNDERGROUND STORAGE REQUIREMENTS

THE SIZING OF THE FLOW-BASED TREATMENT FACILITIES IN CONTRA COSTA COUNTY IS BASED UPON A STORM DEPTH OF 0.6 INCHES. IN ORDER TO PREVENT UNTREATED RUNOFF FROM ENTERING THE STORM SYSTEM, THE PROJECT HAS PROVIDED UNDERGROUND STORAGE OF RUNOFF FOR THE INITIAL FLOW SHOULD THE SUMP PUMP MALFUNCTION. THE AMOUNT OF STORAGE IS SUMMARIZED AS FOLLOWS:
 2 SUMPS (4' X 4' X 9') = 288 CFS
 82 LF 36" DIAMETER PIPE = 579 CFS
 TOTAL STORAGE = 876 CFS

Project Name: Oak Street
 Project Type: Treatment Only
 Location: Clayton
 APN: 119-050-034
 Drainage Area: 16455 sf
 Mean Annual Precipitation: 17.5 in

IV. Areas Draining to IMPs

IMP Name: IMP1 (Soil Type: D)
 IMP Type: Bioretention Facility
 Soil Type: D

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing
DMA1	2,080	Concrete or Asphalt	1.00	2,080	IMP Sizing Rain Sizing Adjust-ment Factor Minimum Area or Volume Proposed Area or Volume
DMA2	1,775	Pervious Concrete	0.10	178	
DMA3	1,450	Conventional Roof	1.00	1,450	
DMA4	7,340	Conventional Roof	1.00	7,340	
DMA5	2,000	Conventional Roof	1.00	2,000	
DMA6	175	Landscape	0.10	18	
DMA7	600	Pervious Concrete	0.10	60	
Total	13,294			13,294	

Software Tool Warnings

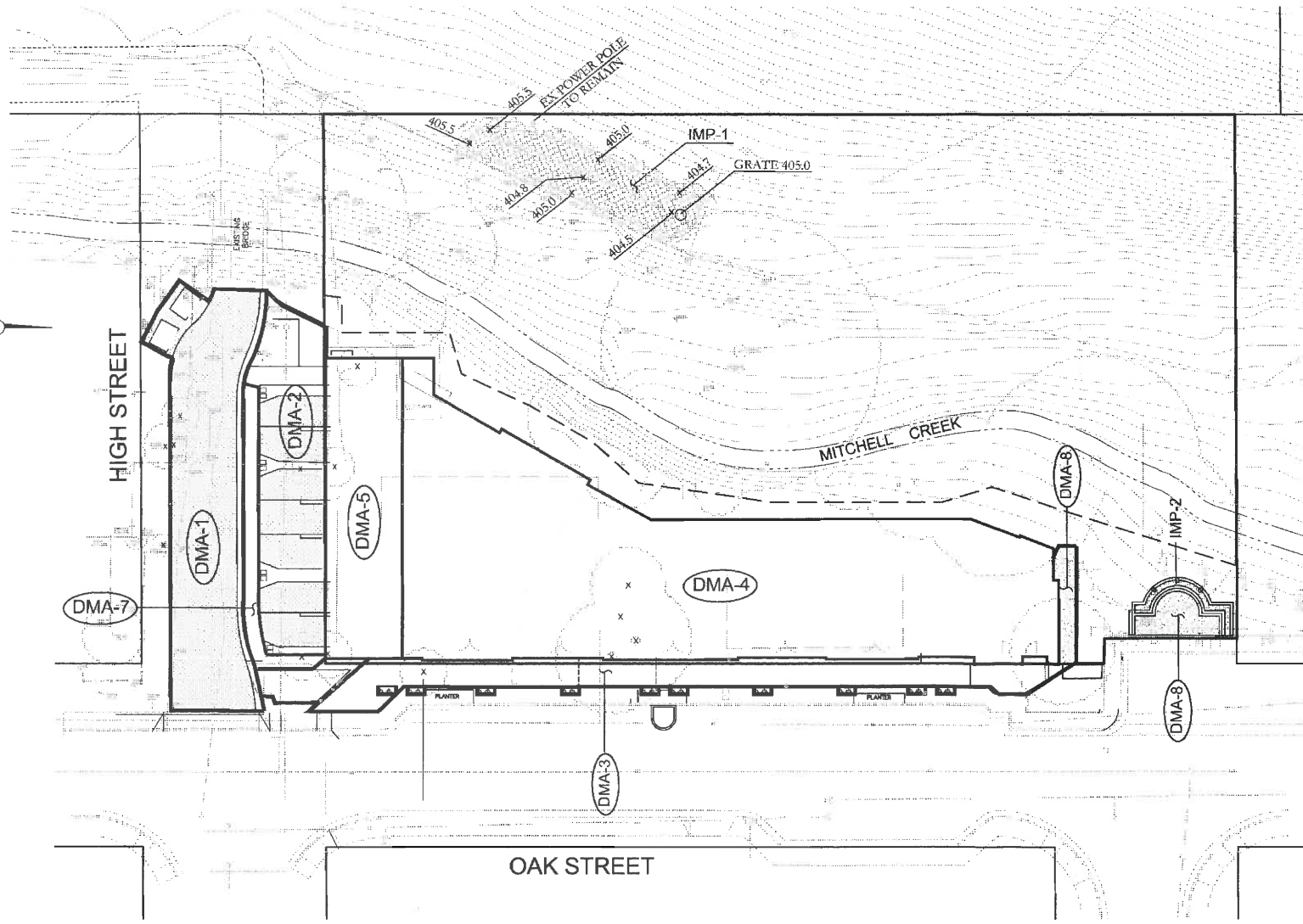
No warnings to report.

DMA	AREA	SURFACE
DMA-1	2,080 SF±	ASPHALT
DMA-2	1,775 SF±	ASPHALT
DMA-3	1,450 SF±	ROOF
DMA-4	7,340 SF±	ROOF
DMA-5	2,000 SF±	ROOF
DMA-6	175 SF±	CONCRETE
DMA-7	600 SF±	CONCRETE
DMA-8	160 SF±	CONCRETE
TOTAL	15,580 SF±	

IMP	SIZE
1	800 SF
2	60 SF

LEGEND

- BIO-SWALE / PLANTERS
- CATCH BASINS
- STORM DRAIN LINE
- EARTH SWALES
- DENOTES AREA (DMA) DRAINAGE MANAGEMENT AREA
- INTEGRATED MANAGEMENT PRATICE



STORM WATER CONTROL
 PLAN EXHIBIT

TENTATIVE MAP 01-08

1005 & 1007 OAK STREET

CITY OF CLAYTON

CONTRA COSTA COUNTY

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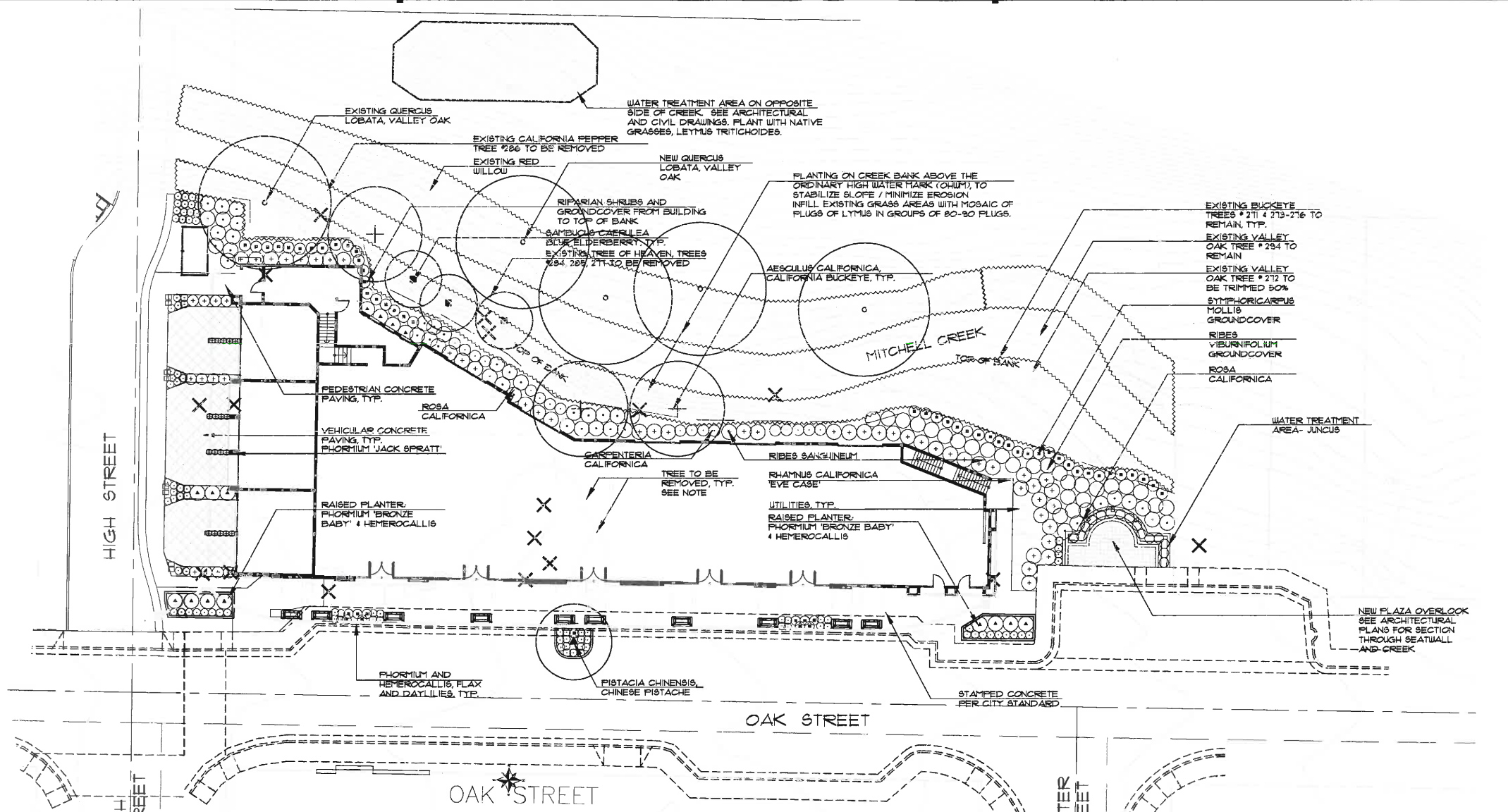
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TM 5

Date: 4/29/2010
 Scale: 1" = 30'
 By: JED / kl
 Job No: 08133



LAYOUT LEGEND

- PEDESTRIAN CONCRETE PAVING WITH INTEGRAL COLOR. FINISH: LIGHT BROOM. COLOR: ONYX/TAN. MFR: DAVIS COLORS. 800-356-4848. INSTALL PER MFR'S SPECIFICATIONS. SUBMIT SAMPLES IN THE FIELD FOR APPROVAL. SEE SPECIFICATIONS.
- ACCENT PEDESTRIAN CONCRETE PAVING WITH INTEGRAL COLOR. FINISH: LIGHT BROOM. COLOR: TBD. MFR: DAVIS COLORS. 800-356-4848. INSTALL PER MFR'S SPECIFICATIONS. SUBMIT SAMPLES IN THE FIELD FOR APPROVAL. SEE SPECIFICATIONS.
- VEHICULAR CONCRETE PAVING SURFACE CONDITION WITH INTEGRAL COLOR. S.C.D. FOR DIMENSIONING AND REINFORCING. FINISH: LIGHT BANDBLAST OR APPROVED EQUAL. COLOR: TO BE DETERMINED. MFR: DAVIS COLORS. 800-356-4848.
- CREEK ENHANCEMENT ON BANKS OF MITCHELL CREEK ABOVE THE ORDINARY HIGH WATER MARK. NON IRRIGATED EROSION CONTROL PLUGS PER LIST 4 TREES. IRRIGATION REQUIRED FOR TREES UNTIL ESTABLISHED.

BIOSWALE SOIL MIX IN ALL WATER TREATMENT AREAS
 65% USDA SAND OR LOAMY SAND
 5% 1/2"-1" ROCK
 3% ORGANIC BY WEIGHT
 PERCOLATION RATE MUST FALL IN THE RANGE OF 5 TO 10 INCHES PER HOUR AS DETERMINED BY SPL METHOD AQA-2
 PH OF SATURATED PASTE: 5.5 - 7.5 WITHOUT HIGH LIME CONTENT
 AFTER PLACEMENT THE TOP 6 INCHES SHALL BE BLENDED WITH COMPOST AT A RATE OF 1 PART COMPOST TO 4 PARTS OF BIOSWALE SOIL MIX

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
RIPARIAN SPECIES				
AC	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	24" BOX	AS SHOWN
CC	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GALLON	3'-6" O.C.
QL	QUERCUS LOBATA	VALLEY OAK	1 GALLON	AS SHOWN
R	ROSA CALIFORNICA	WILD ROSE	5 GALLON	4'-0" O.C.
RC	RHAMNUS CALIFORNICA 'EYE CASE'	COFFEEBERRY	5 GALLON	4'-6" O.C.
RS	RISES SANGUINEUM	FLOWERING CURRENT	5 GALLON	4'-0" O.C.
RV	RISES VIBURNIFOLIUM	EVERGREEN CURRENT	1 GALLON	4'-0" O.C.
SC	SAMBUCUS CAERULEA	BLUE ELDERBERRY	15 GALLON	AS SHOWN
SM	SYMPHORICARPUS MOLLIS	CREeping SNOWBERRY	1 GALLON	3'-0" O.C.
NATIVE GRASSES FOR SLOPES				
LT*	LEYMUS TRITICOIDES	CREeping WILD RYE	4" PLUGS	12" O.C.
WILDFLOWER SEED MIX TO BE HAND BROADCAST ON WESTERN SIDE OF CREEK DURING FALL BETWEEN OCTOBER 15 and DECEMBER 1				
EC	Eschscholzia Californica	POPPY	SEEDS	10 LBS / ACRE
L	LUPINUS NANUS	SKY LUPINE	SEEDS	10 LBS / ACRE
STREETSCAPE TREES				
L	LAGERSTROEMIA MUSKOGEE	CRAPE MYRTLE	24" BOX	AS SHOWN
PC	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	AS SHOWN
P	PYRUS CALLERYANA	FLOWERING PEAR	24" BOX	AS SHOWN
SHRUBS				
AB	ARCTOSTAPHYLOS BAKERI 'LOUIS EDMONDS'	MAZANITA	5 GAL	5'-0" O.C.
HE	HEMEROCALLIS	EVERGREEN ORANGE 4 RED DAYLILIES	1 GAL	2'-0" O.C.
HH	HEMEROCALLIS	EVERGREEN YELLOW DAYLILIES	1 GAL	2'-0" O.C.
LM	LANTANA MONTEVIDENSIS	LANTANA	5 GAL	2'-6" O.C.
FB	PHORMIUM 'BRONZE BABY'	FLAX	1 GAL	1'-6" O.C.
FJ	PHORMIUM 'JACK SPRATT'	FLAX	5 GAL	4'-0" O.C.
FM	PHORMIUM 'YACORI MAIDEN'	FLAX	5 GAL	4'-0" O.C.
FT	PHORMIUM 'TOM THUMB'	FLAX	2 GAL	2'-0" O.C.
RH	RHAMPHOLEPIS INDICA 'JACK EVANS'	INDIAN HAWTHORN	5 GAL	4'-0" O.C.
RM	ROSA MELLAND 'CORAL'	CORAL MELLAND ROSE	2 GAL	3'-6" O.C.
RP	ROSA MELLAND 'PINK'	PINK MELLAND ROSE	2 GAL	3'-6" O.C.
VT	VIBURNUM TINUS 'SPRING BOUQUET'	LAURUSTINUS	5 GAL	3'-0" O.C.
GROUNDCOVER				
AU	ARCTOSTAPHYLOS URA-URSI 'POINT REYES'	SEABERRY	1 GAL	3'-0" O.C.
CA	CAREX TUMICOLA	BERKELEY SEDGE	1 GAL	12" O.C.
CK	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	1 GAL	18" O.C.
CP	CORREA FULCHRELLA 'MISSION BELLS'	AUSTRALIAN RUSHIA	1 GAL	4'-0" O.C.
EK	ERIGERON KARVINKIANUS	MEXICAN DAISY	1 GAL	12" O.C.
FG	FESTUCA GLAUCA	BLUE FESCUE	1 GAL	12" O.C.
GS	GERANIUM S. 'RUSSELL FRITCHARD'	CRANESBILL	1 GAL	18" O.C.
H5	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL	2'-6" O.C.
JU	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	18" O.C.
LP	LIBERTIA PEREGRINANS	LIBERTIA	5 GAL	18" O.C.
ST	STIPA TENNISISSIMA	MEXICAN FEATHER GRASS	1 GAL	1'-6" O.C.
LT*	INSTALL IN RAINY SEASON			

NOTES

- SEE "TREE REPORT" PREPARED BY HORTSCIENCE MAY, 2008 TO VERIFY WHICH EXISTING TREES SHALL REMAIN
- PROTECT EXISTING TREES TO REMAIN PER "TREE REPORT"
- do not plant shrubs or groundcover within 10' of existing trees.
- REFER TO STORMWATER CONTROL PLAN (PREPARED BY DEBOLT CIVIL ENGINEERING FOR STORMWATER MANAGEMENT ISSUES)
- REFER TO BIOLOGICAL RESOURCE ASSESSMENT REPORT PREPARED BY ENVIRONMENTAL COLLABORATIVE DATED JUNE 2008 FOR ADDITIONAL INFORMATION.
- CREEK ENHANCEMENT:
 - NON-NATIVE PLANTS (TREE-OF-HEAVEN) TO BE REMOVED
 - PLANTING ON CREEK BANKS ABOVE THE ORDINARY HIGH WATER MARK (OHWM) ADDED TO STABILIZE/MINIMIZE EROSION. FIELD VERIFY OHWM IN FIELD PRIOR TO CONSTRUCTION. ALL PLANTING ON THE WEST SIDE OF THE CREEK TO BE PLANTED DURING THE RAINY SEASON FOR PLANT ESTABLISHMENT WITH NATURAL RAIN WATER. HAND IRRIGATION MAY BE REQUIRED FOR ESTABLISHMENT OF NATIVE DROUGHT TOLERANT PLANT MATERIAL.
 - RETAIN AND PROTECT NATIVE, MATURE TREES LABELED AS 'SAVE' IN HORTSCIENCE REPORT
- PRESERVE EXISTING TREES, U.O.N., PER ORINANCE NO 87, PRESERVATION OF TREES ON PUBLIC AND PRIVATE PROPERTY.
- IRRIGATION FOR NATIVE SHRUBS ON EAST SIDE OF BANK. TEMPORARY IRRIGATION FOR ESTABLISHMENT OF CREEK ENHANCEMENT ON BANKS UNTIL ESTABLISHMENT.

TREE LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- PROPOSED TREE

GATES & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 LAND PLANNING URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA. 94583
 TEL: 925.736.8176 FAX: 925.839.8901
 WWW.DGATES.COM

CREEKSIDE TERRACE

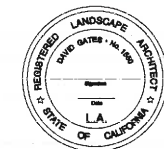
1005-1007 OAK ST.
 CLAYTON, CALIFORNIA

REVISION: DESCRIPTION: DATE:

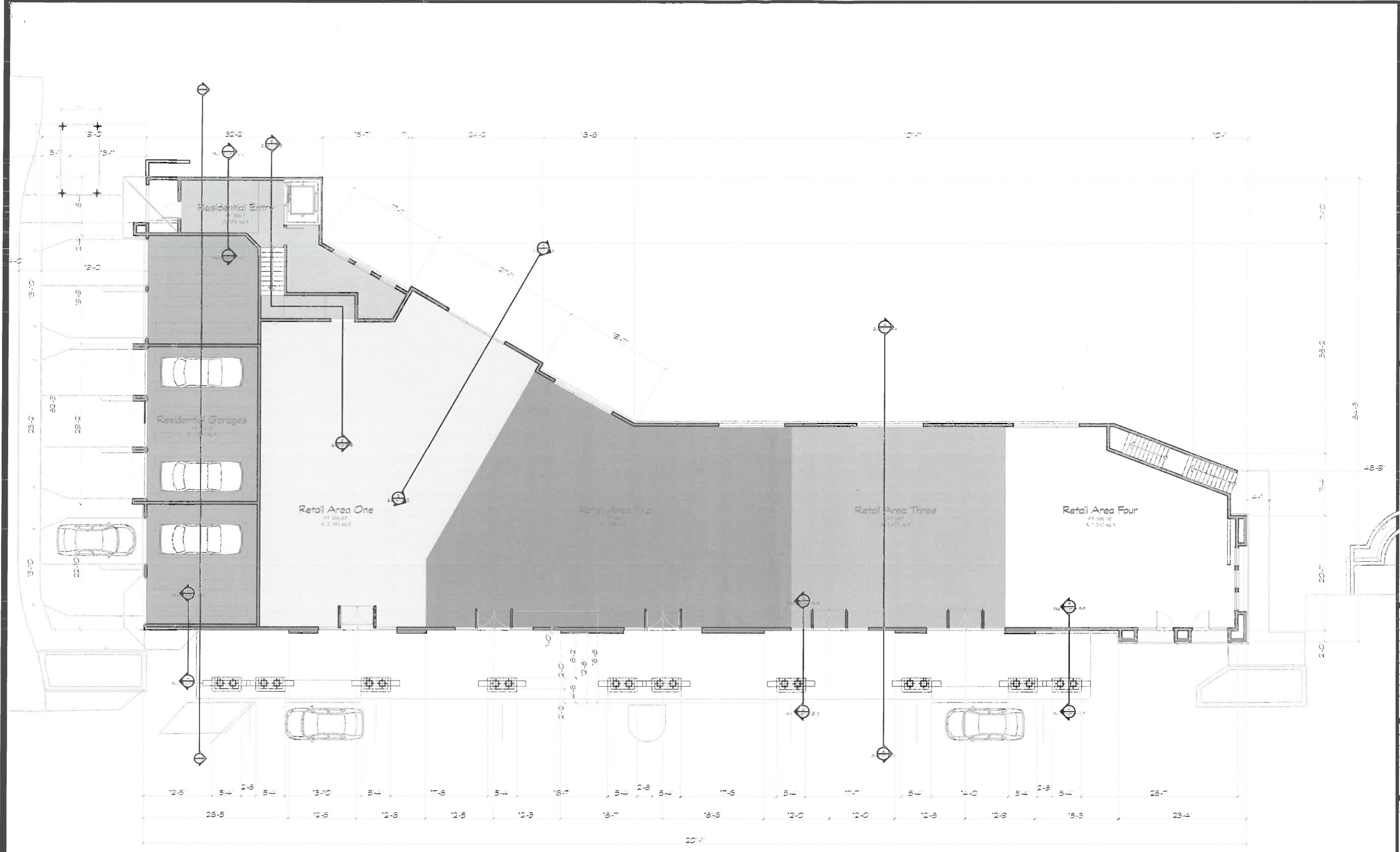
PROJECT NAME: CITY OF CLAYTON
 PROJECT NUMBER:
 PROJECT FILE:
 DRAWN: JM
 CHECK: NB
 DATE: MARCH 5, 2010

SCALE: 1/16" = 1' 0"

PRELIMINARY PLANTING AND CREEK ENHANCEMENT PLAN



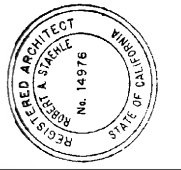
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1 First Floor Plan
 SCALE: 1/8" = 1'-0"

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 Clayton, CA 94517

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Creekside Terrace
 1005 - 1007 Oak Street, Clayton, CA
 City of Clayton, Redevelopment Agency

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 MODEL FILE:
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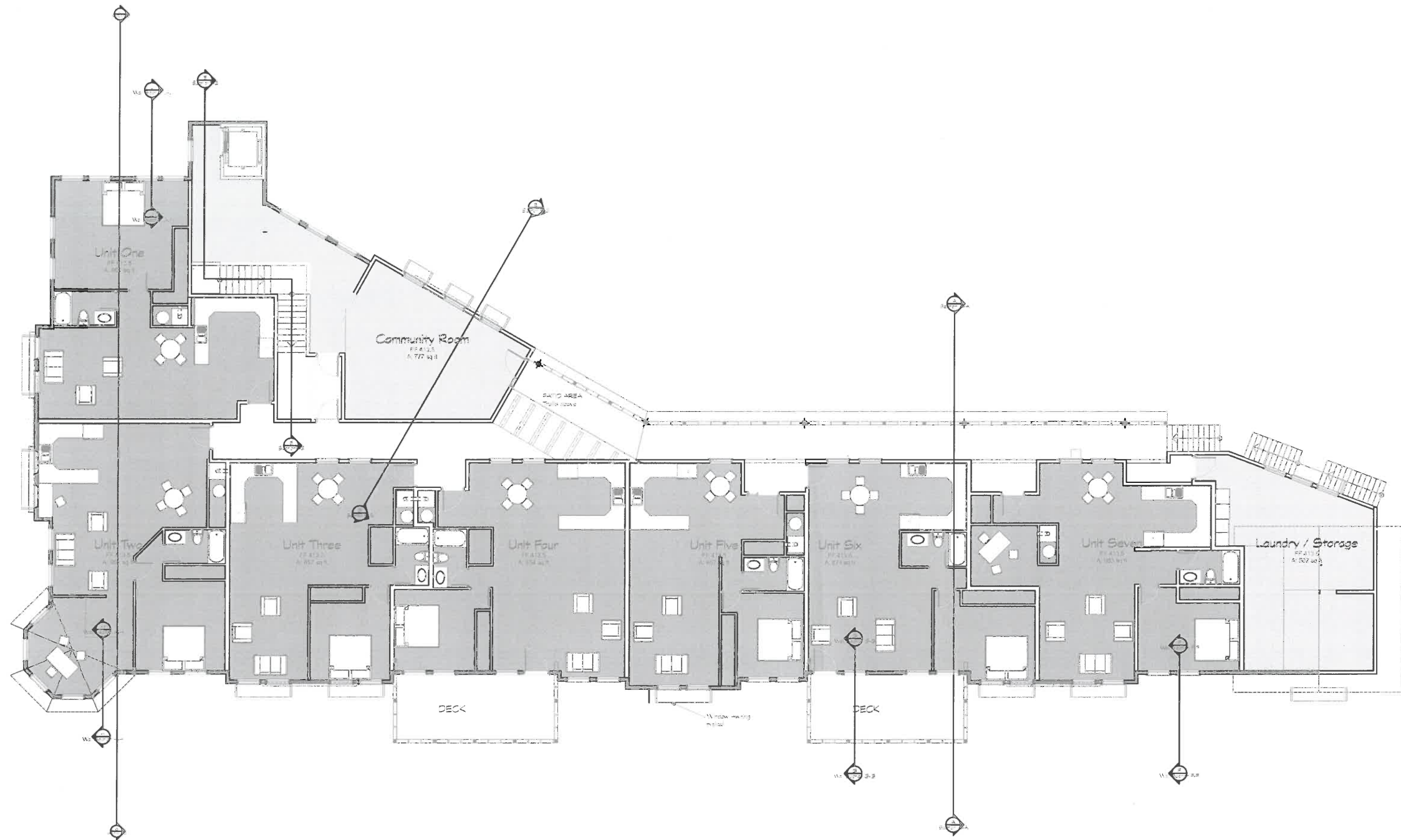
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1st Floor Plan

A-1.2

SHEET 9 OF 17

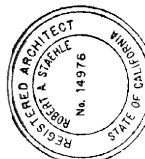
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1 2nd FLOOR PLAN
SCALE 1/8" = 1'-0"

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Clayton, CA 94517

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Terrace**
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

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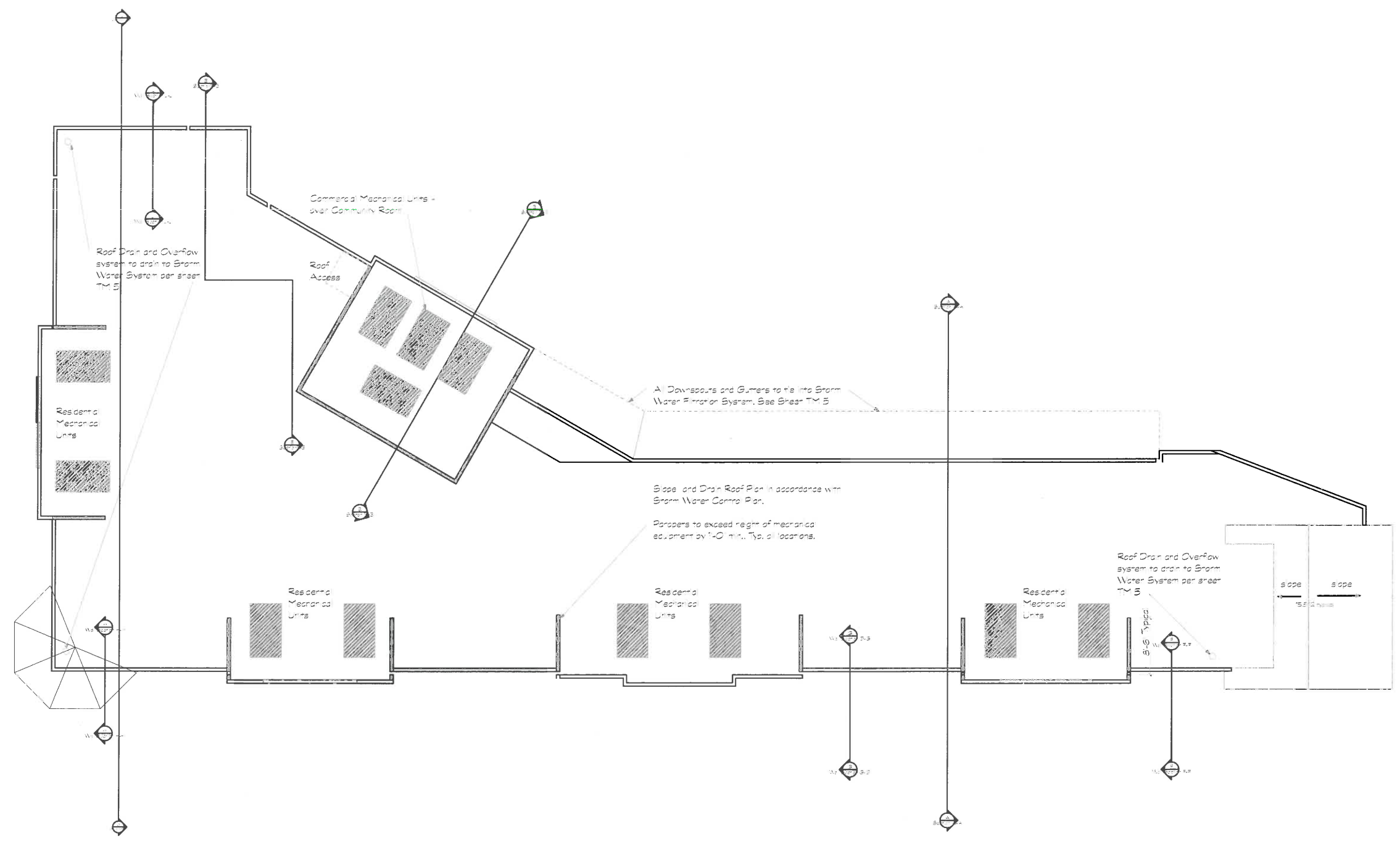
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2nd Floor Plan

A-1.3

SHEET 10 OF 17

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1 Roof Plan
SCALE: 1/8" = 1'-0"

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City of Clayton, Redevelopment Agency

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SHEET TITLE

Roof Plan

A-1.4

SHEET 11 OF 17



PLANNING AND DESIGN GUIDE

Holeless Hydraulic Passenger Elevators

The charts and drawings show recommended sizes and capacities for typical building installations.

Pit and Overhead Dimensions

Table with 3 columns: Speed (FPM), Pit (ft), and Overhead (ft). Rows for 150, 200, and 300 FPM.

Single-End Opening

Table with 5 columns: Car Width (ft), Platform (ft), Inside Car (ft), and Door. Rows for 150, 200, and 300 FPM.

Two-End Opening

Table with 5 columns: Car Width (ft), Platform (ft), Inside Car (ft), and Door. Rows for 150, 200, and 300 FPM.

These dimensions should be used only as a preliminary planning guide. Please contact Schumacher Elevator or your Schumacher distributor for additional information before beginning construction.

PLANNING AND DESIGN GUIDE

Holeless Hydraulic Passenger Elevators

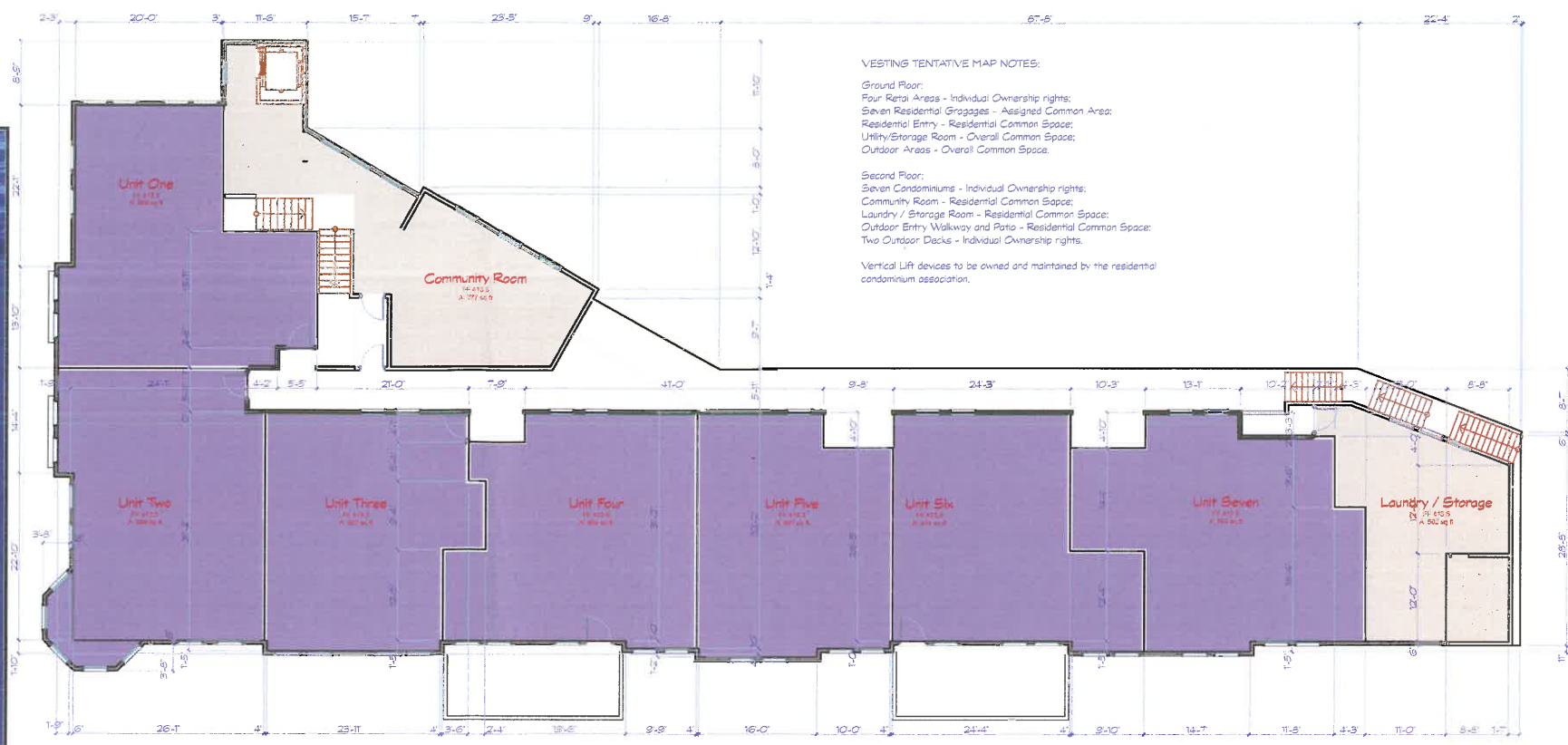
Schumacher holeless hydraulic elevators are designed to eliminate the risk of falling in unknown or poor soil conditions.

The Schumacher holeless elevator is made environmentally friendly by eliminating jack compression and oil leakage through electrolysis.

Schumacher Holeless Hydraulic Elevators:

- Top-Load holeless design reduces installation time and eliminates leveling costs.
Eliminates all hazards of unknown rock and soil conditions that prevent drilling.
Environmentally friendly.
Capable of serving one-level buildings.

Advertisement for Glass Flood Barriers by Savannah Trims. Includes product overview, features, and contact information.



VESTING TENTATIVE MAP NOTES:
Ground Floor:
Four Retail Areas - Individual Ownership rights;
Seven Residential Garages - Assigned Common Area;
Residential Entry - Residential Common Space;
Utility/Storage Room - Overall Common Space;
Outdoor Areas - Overall Common Space.
Second Floor:
Seven Condominiums - Individual Ownership rights;
Community Room - Residential Common Space;
Laundry / Storage Room - Residential Common Space;
Outdoor Entry Walkway and Patio - Residential Common Space;
Two Outdoor Decks - Individual Ownership rights.
Vertical Lift devices to be owned and maintained by the residential condominium association.

Glass Flood Barrier

TM Layout 2nd Floor

SCALE: 3/32" = 1'-0"

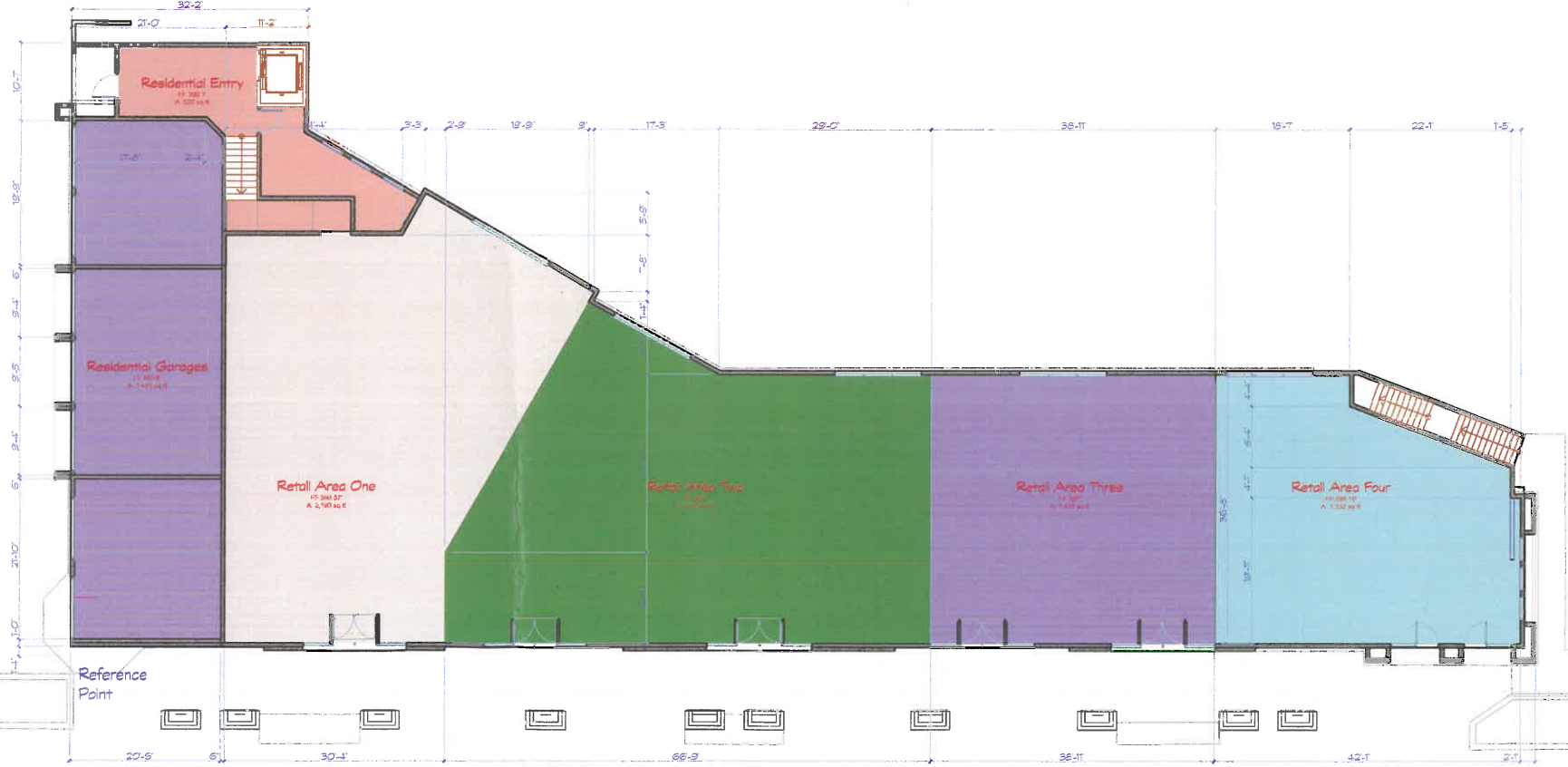
Product Overview section for Glass Flood Barrier.

Features & Components

- Primary Features:
A. Removable Stop Phase - Heavy Hydraulic...
B. Wide Construction For Large Trucks...
C. Position Single Frame Air Lock Release Safety Lock...
D. Removable Stop Phase - A Removable Cap...
E. Adjustable 20" Wide Runways...
F. Heavy Duty Lead Cable...
G. 20" Adjustable Runway...
H. Powerful 220V Power Unit & Large Hydraulic Cylinder...

Specifications:

Table with 3 columns: Product Name, Capacity, and Safety Latching Positions. Lists specifications for CL 14,000 FP.



Auto Lift Cut Sheet

TM Layout 1st Floor

SCALE: 3/32" = 1'-0"

Holeless Elevator Cut Sheet

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Table with 3 columns: MARK, DATE, DESCRIPTION. Shows revision history.

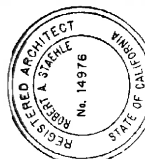
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SHEET TITLE
TM - Layout & Cut Sheets

A-1.5
SHEET 12 OF 17

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 City of Clayton, Redevelopment Agency

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SHEET TITLE

Elevations

A-2.1

SHEET 13 OF 17



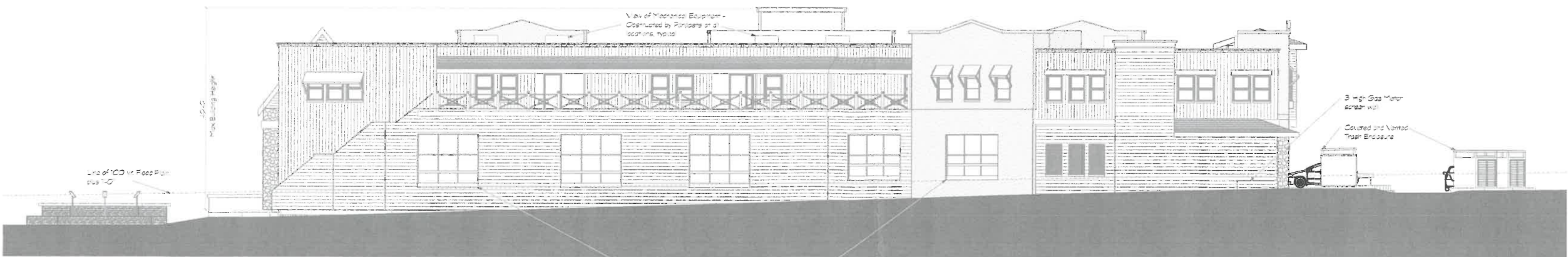
North Elevation
 SCALE: 3/32" = 1'-0"



South Elevation
 SCALE: 3/32" = 1'-0"

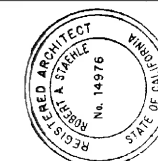


East Elevation
 SCALE: 3/32" = 1'-0"



West Elevation
 SCALE: 3/32" = 1'-0"

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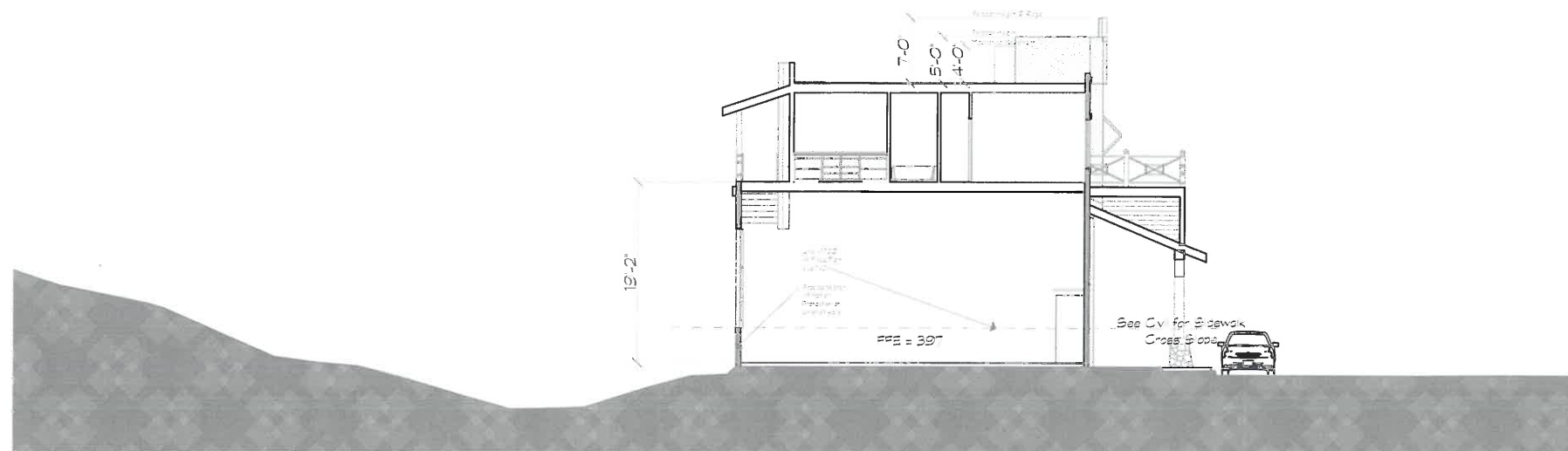
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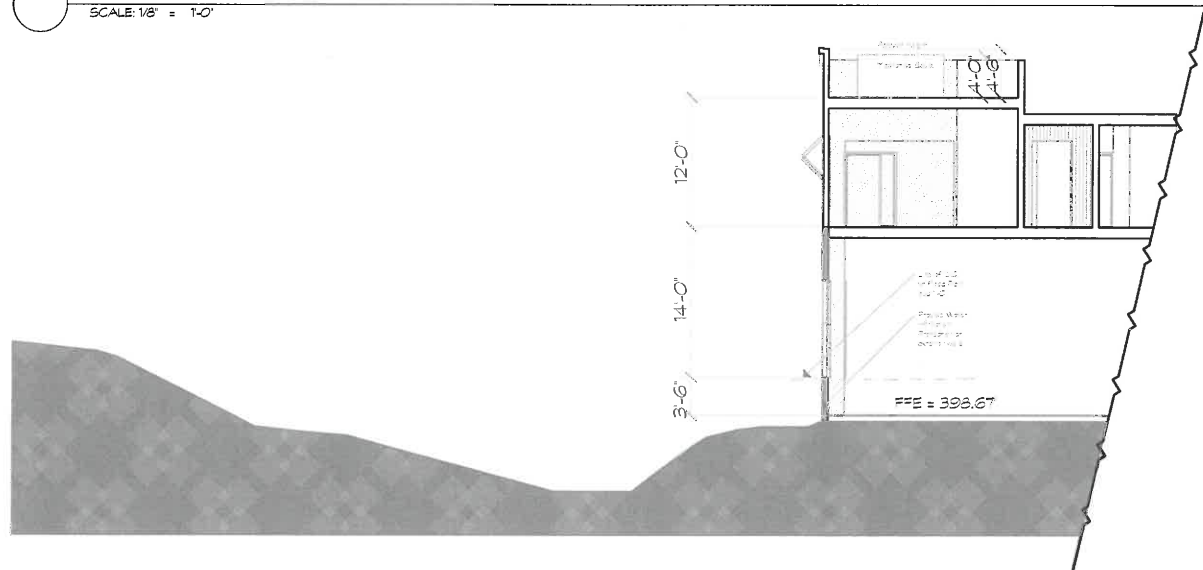
Sections

A-3.1

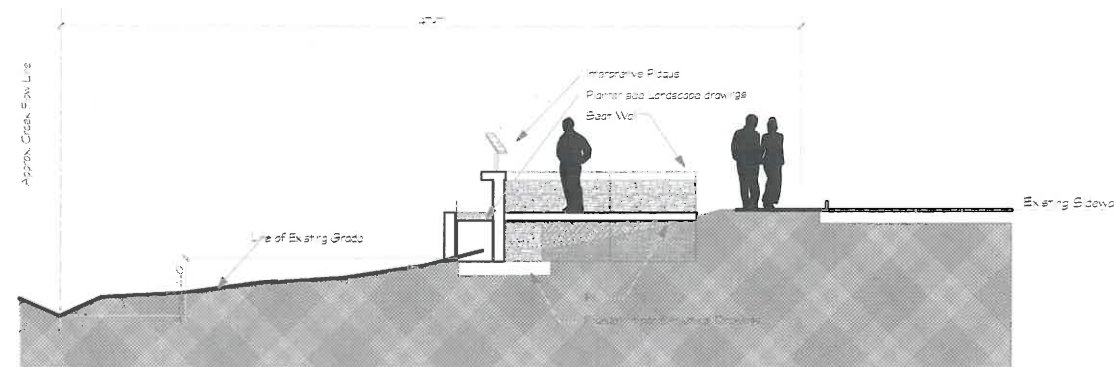
SHEET 14 OF 17



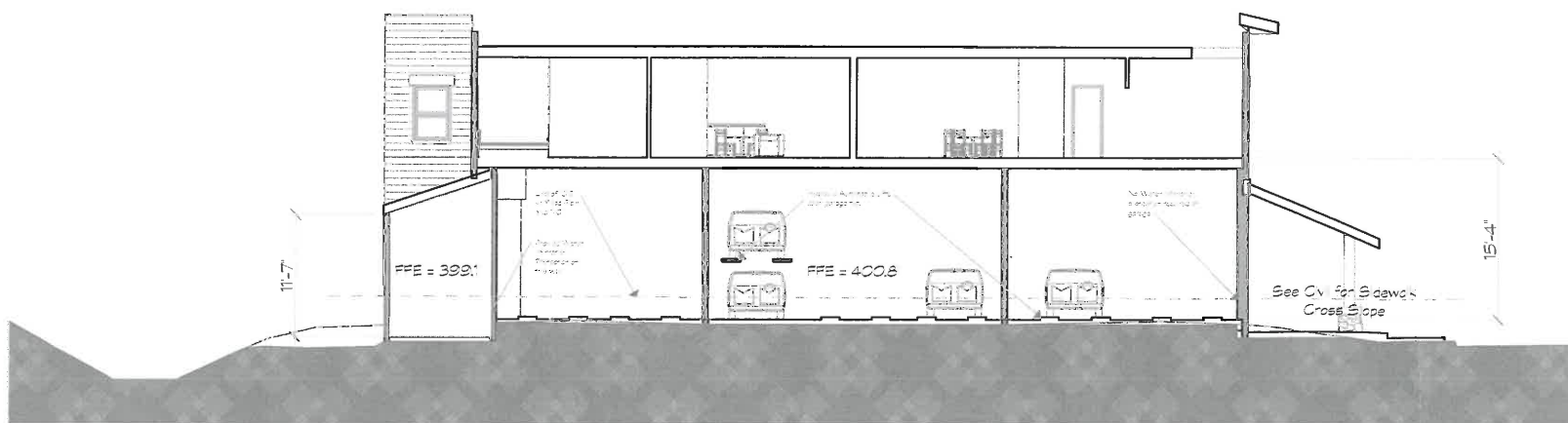
Section A-A
 SCALE: 1/8" = 1'-0"



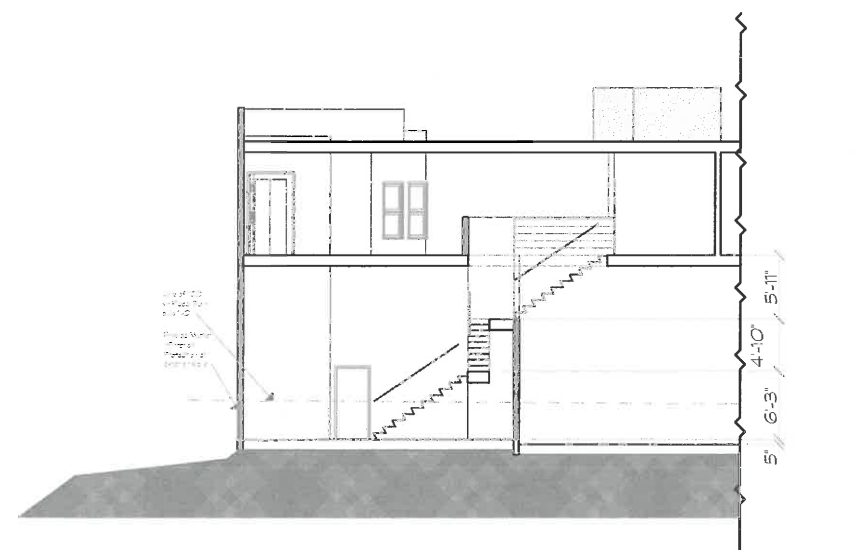
Partial Section B-B
 SCALE: 1/8" = 1'-0"



Section D-D
 SCALE: 3/16" = 1'-0"



Section C-C
 SCALE: 1/8" = 1'-0"

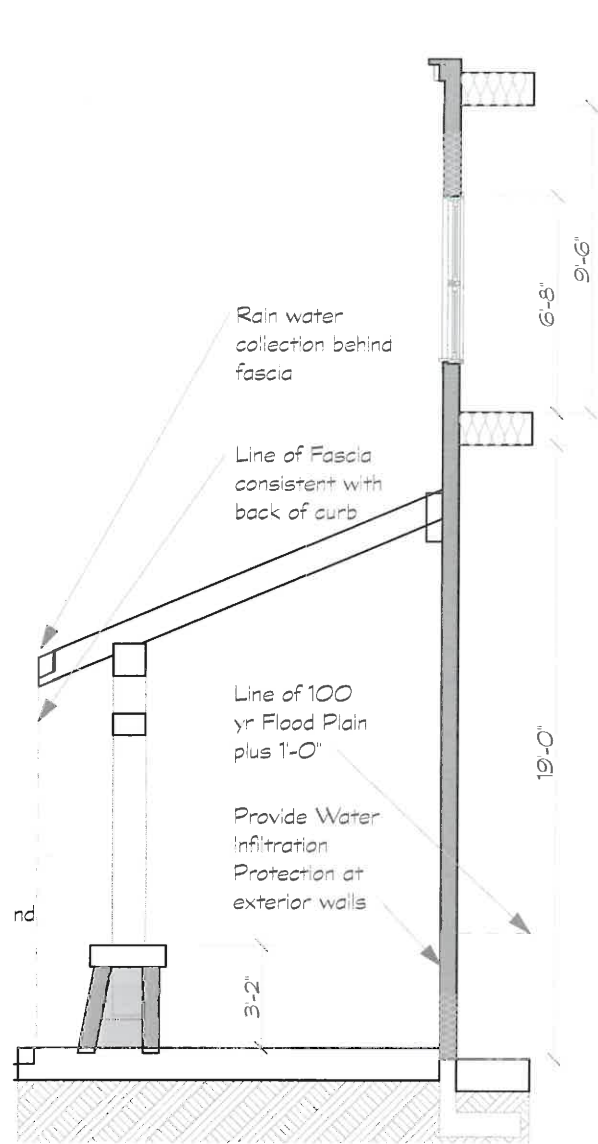


Partial Section E-E
 SCALE: 1/8" = 1'-0"

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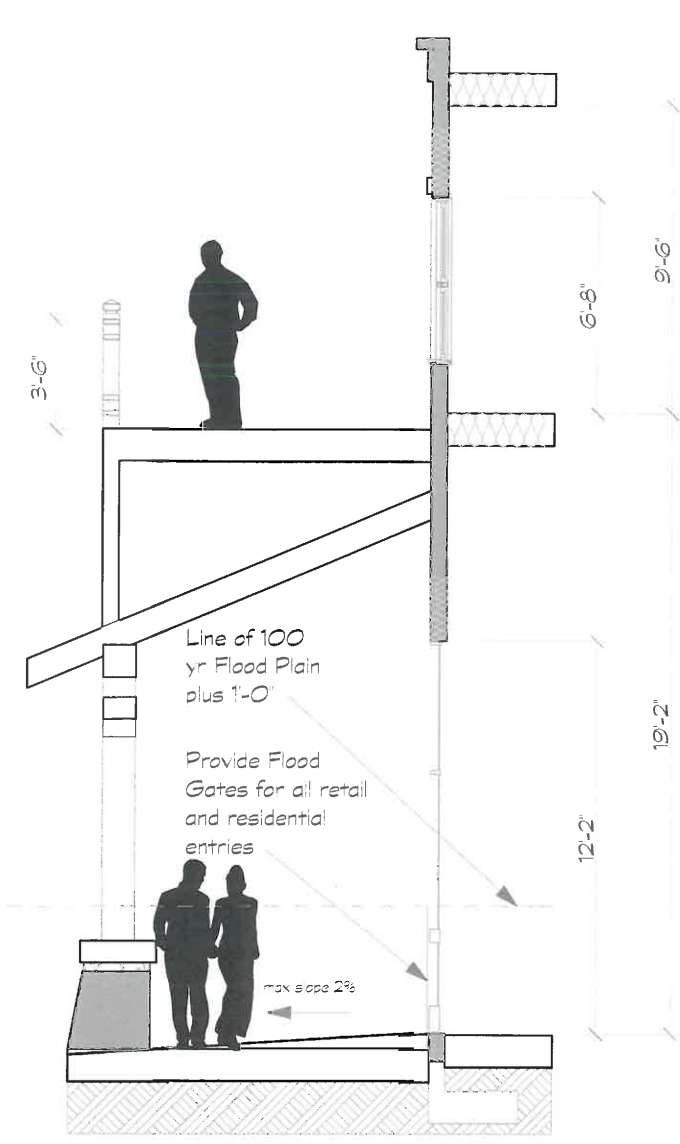


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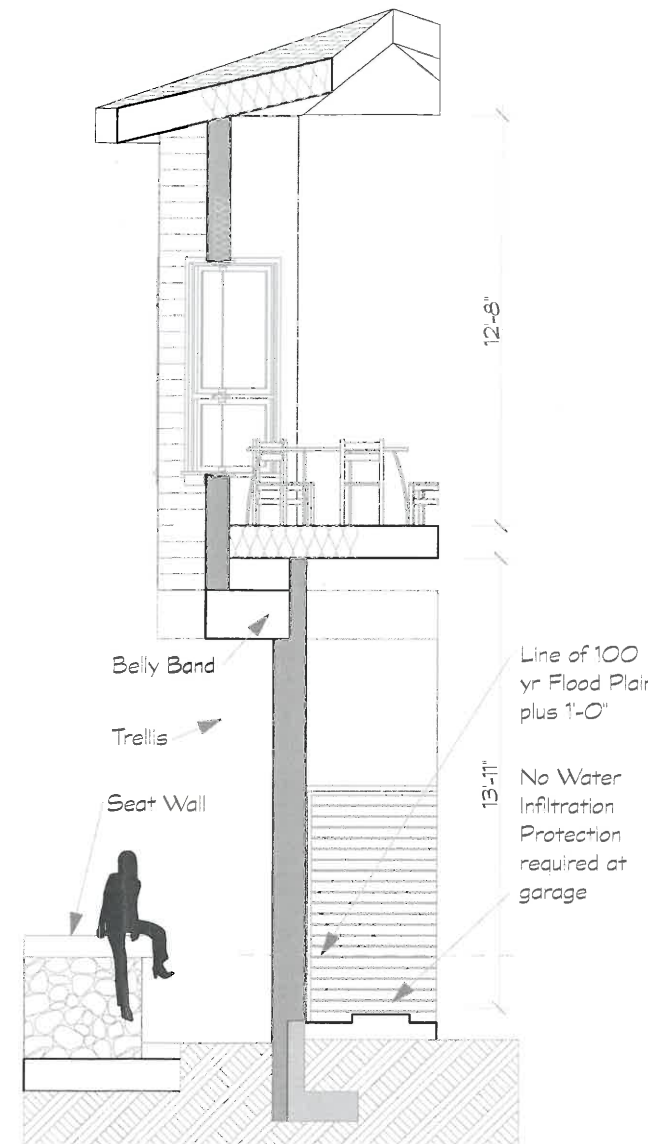
Wall Section F-F

SCALE: 3/8" = 1'-0"



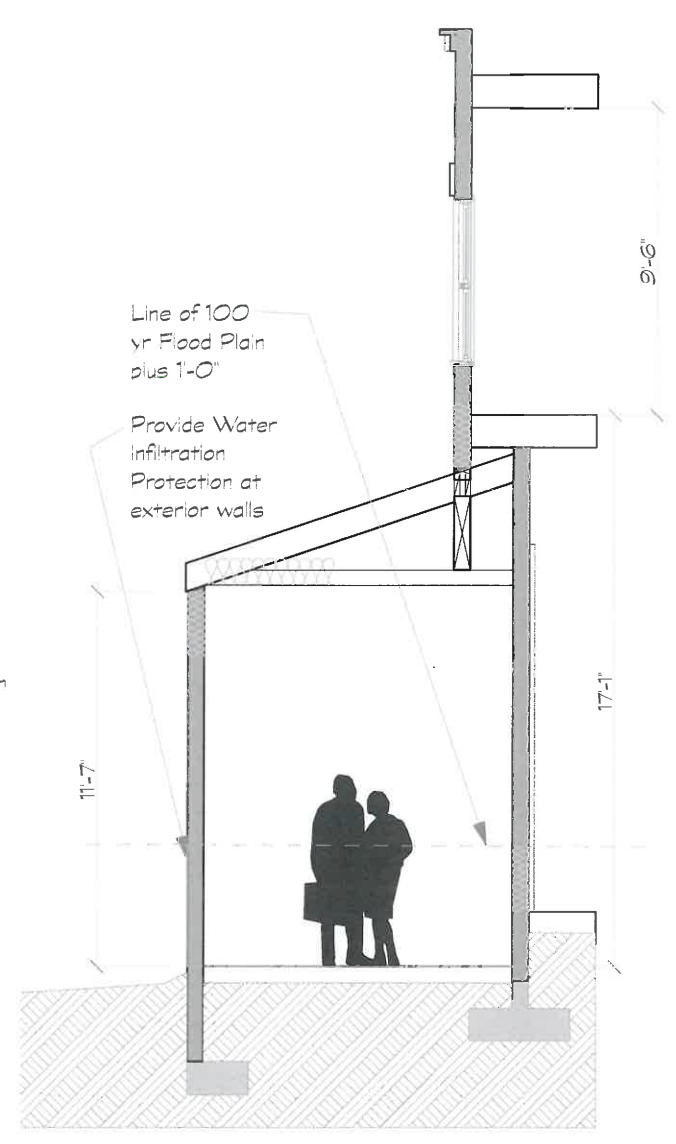
Wall Section G-G

SCALE: 3/8" = 1'-0"



Wall Section H-H

SCALE: 3/8" = 1'-0"



Wall Section J-J

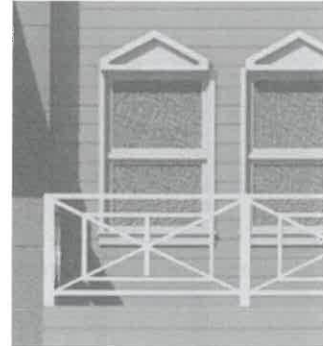
SCALE: 3/8" = 1'-0"



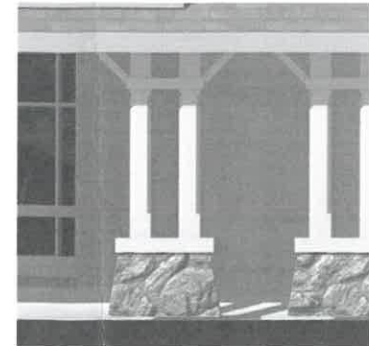
Dental Molding



Parapets



Railing Detail



Retail Columns



Window Awning



Flood Gates

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n/a	6/21/10	Rev. Submittal
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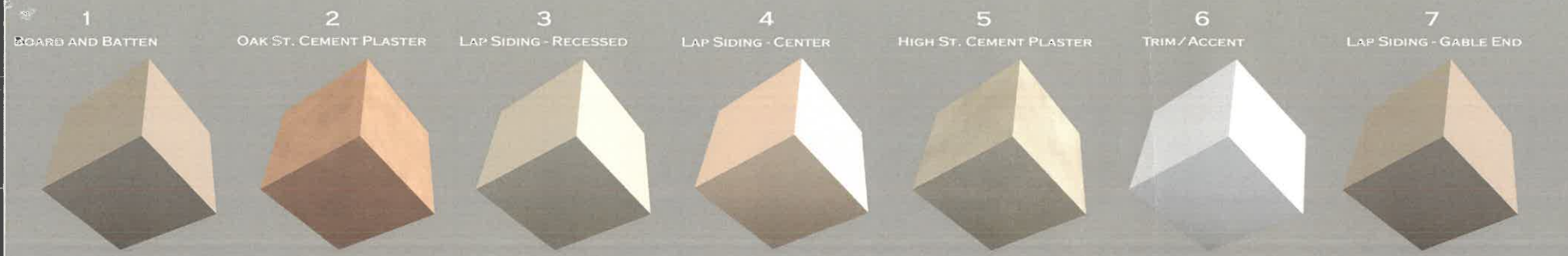
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Wall Sections and
 Details

A-3.2

SHEET 15 OF 17

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DESCRIPTION

1 HardiePanel™ Vertical siding board. Cedarmill texture with evenly spaced HardieTrim™ boards smooth texture 1-3/4" battens. ColorPlus® Integral Khaki Brown color.

2 Dashed finish cement plaster with channel expansion joints

3 Hardieplank™ Lap siding Select Cedarmill texture with 7-1/4" exposure. ColorPlus® Integral Sandstone Beige color.

4 Hardieplank™ Lap siding Select Cedarmill texture with 7-1/4" exposure. Custom color.

5 Dashed finish cement plaster with channel expansion joints

6 Semi-gloss exterior laytex paint

7 Hardieplank™ Lap siding Select Cedarmill texture with 7-1/4" exposure. ColorPlus® integral Khaki Brown color.



Cultured Stone™, Old Country Fieldstone over grout texture, Chardonnay color.



Owens Corning® Duration Premium Shingles, Teak color.



Color and Materials - East Elevation

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 1005 - 1007 Oak Street, Clayton, CA
 City of Clayton, Redevelopment Agency

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SHEET TITLE
 Color and Materials Board

A-4.1
 SHEET 16 OF 17

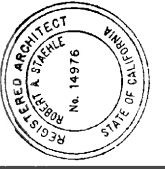
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View from Flora Square

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View From Flora Square

A-4.2

SHEET 17 OF 17

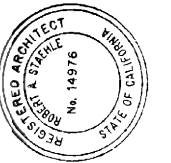
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View from High Street

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1005 - 1007 Oak Street, Clayton, CA
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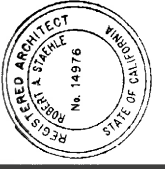
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View From High Street

A-4.3

SHEET 18 OF 17

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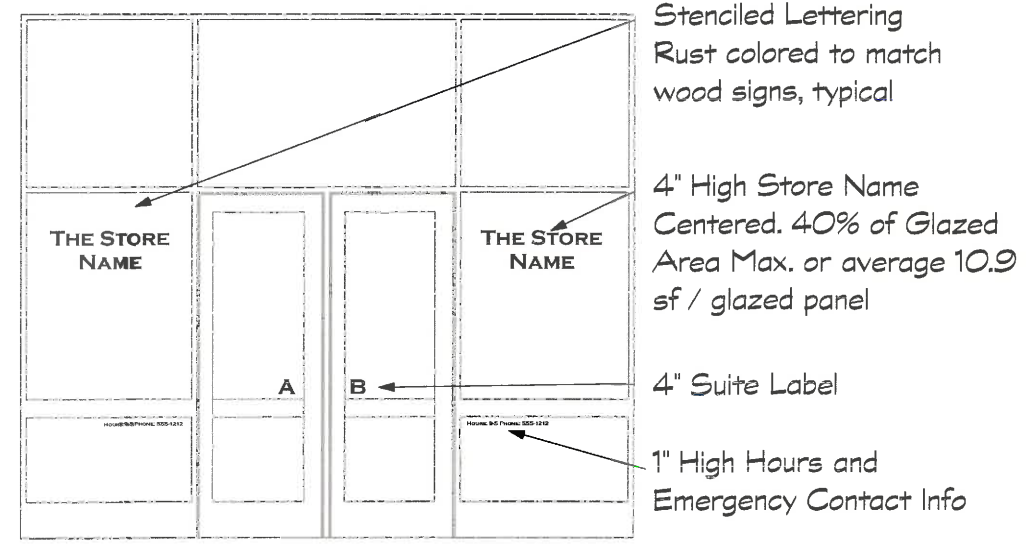
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SHEET TITLE

Building Signage

GENERAL STORE Uniform 8" Lettering
BICYCLES Uniform 9" Lettering
RESTAURANT Accented 8" Lettering
JEWELRY Accented 9" Lettering



Stenciled Lettering
 Rust colored to match wood signs, typical

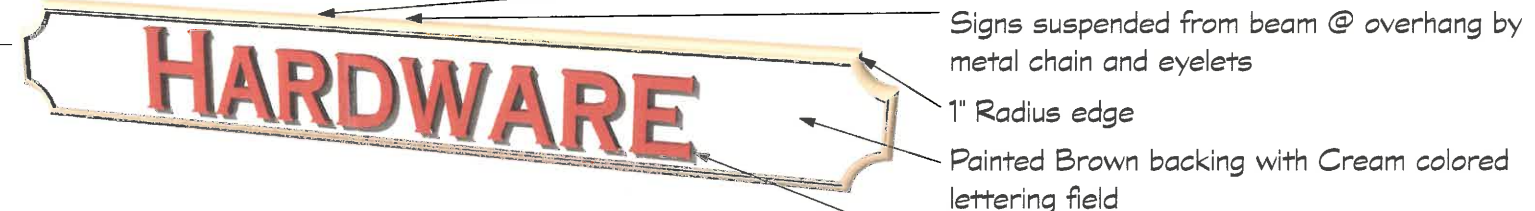
4" High Store Name
 Centered. 40% of Glazed Area Max. or average 10.9 sf / glazed panel

4" Suite Label

1" High Hours and Emergency Contact Info

Lettering Styles - Font = Copper Plate Gothic
 NOT TO SCALE

2" Deep Wood Sign with 1/2" recessed face

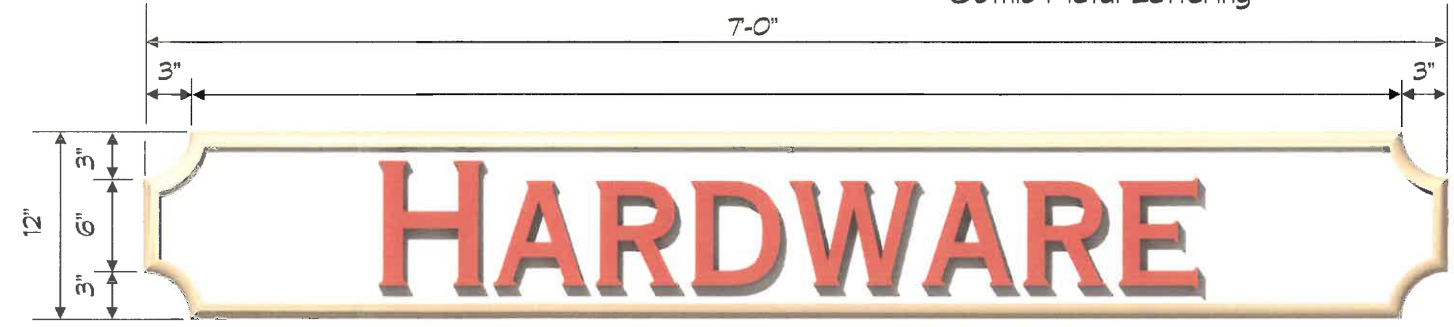


Signs suspended from beam @ overhang by metal chain and eyelets

1" Radius edge

Painted Brown backing with Cream colored lettering field

Rust colored 8" or 9" Raised Copper Plate Gothic Metal Lettering



Typical Hanging Sign Sizing
 NOT TO SCALE

Store Front Stencil
 SCALE: 1/2" = 1'-0"

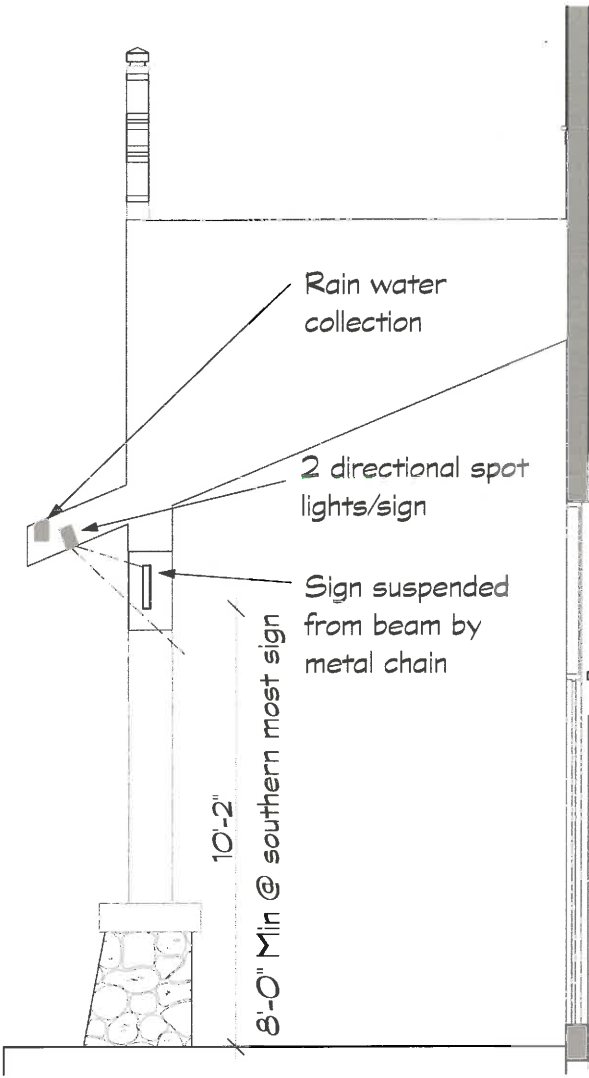
Signage Calculations
 200 lf Oak St. frontage

200 sf max signage allowable

Hanging Signs: 7sf/sign x 7 signs = 49 total sf of hanging signage

Monument Sign: 2x10 = 20 sf of monument sign

Max. 131 sf of window signage allowed. 10.9 sf/ panel (12 panels)



Sign Section
 SCALE: 1/2" = 1'-0"

Note: High Street to have one monument sign to identify residential entry address. Plus stenciled 4" garage door identifiers (1-7 lower corner of door)



Signage @ CL between columns, typ. 6 locations

Bottom of all signs uniform height

Locate Signage on two posts in planter

2' High x 10' long monument sign @ planter

Signage Locations
 SCALE: 1/8" = 1'-0"